

Space Needs Analysis Bristol Municipal Buildings

Clarence A. Bingham Elementary School

3 North Street

Total Building Area: 50,505 SF

Current Use: Vacant
Original Construction Year: 1916
Additions: One assumed.
Renovations (years): 1981
Number of Floors: Three



Previous studies reviewed for this building: None.

Drawings used for Study: PDF's of Renovation Drawings dated 1981

Current Facility

Building Condition (Refer to Appendix 'A', Condition Survey)

Exterior:

The exterior brick is in good condition with limited broken brick and spalled brick, primarily just below the roof level.



Terracotta trim and sills occur on the front wing of the building and is generally in good condition except for the parapet caps where glaze has spalled; this should be repaired.

Window sill on the rear wing are cast stone and also in good condition but need to be re-pointed.

Windows are insulated glass in bronze aluminum frames. The frames are badly faded to a light olive green.



Cornices are wood and will require some wood replacement (10%), scraping and repainting. The metal flashings over the front cornices (copper on rear wing) are rusting and staining the cornice at the front wing and should be replaced. (see photo where terracotta meets cast stone parapet and metal flashing meet copper)



Cheek walls at the main and side entrances have deteriorated and should be reconstructed.



Roofing is a built-up system with a newer cap sheet applied over problem areas. The roof is leaking badly causing interior damage and should be fully replaced. Roof equipment is badly rusted and, if serving a purpose should be replaced, or removed from the roof if not. The roof has good positive slope and drains to gutters on the low side of the roof (west side).



Flashing are generally in poor condition and should be replaced with the new roof. Parapet caps should also be removed at that time to properly flash the roof.



Roof access is good via a narrow staircase up to the roof surface. The enclosure at the roof level should be re-sided and a metal door installed.



The bay window on the east side of the building has a copper roof that appears to be in good condition despite its age.

The boiler room wing has a relatively new EPDM roof that appears to be functioning well.



The bituminous pavement around the building is badly cracked but has not started to break apart, except in limited areas. It should be redone with a new wear coat. Chain link fences used to separate children from school buses should be removed to allow for parking to be closer to the building.

The boiler room is a connected structure at the end on the rear wing. It is recommended that this be demolished and a new boiler room be incorporated into the basement level of the building.

Interiors:

The interiors of the building are in need of significant upgrades to bring the building up to an acceptable level. Roof leaks have caused plaster deterioration and significant damage to wood floors. Some areas of the wood floors will require removal and replacement to correct the deficiencies.

Fire and Code Deficiencies

The building is equipped with a full fire protection sprinkler system. Generally, the building meets code requirements, with the exception of issues typically found in older buildings:

- Stairs have no guardrails.
- Surfaces of the stair treads are worn smooth.

It was also noted that the stairs are well distributed throughout the building and dependant on use, one stair could be eliminated.

ADA Deficiencies

- The floors of the building are not universally accessible and will require an elevator for access.



- Accessible toilet rooms will be required for the entire building.
- Door knobs will need to be changed to levers.
- With the removal of the lockers door clearances will be adequate.
- Current Teacher's workroom above main entrance should be used for storage only as it is not universally accessible (see photo of steps).



- Stairs are not compliant and will require the elimination of nosings and new continuous handrails.



Basement:

A ramp with two railings exists in the corridor of the original building. It has a slope of 1.25" in 12", exceeding ADA requirements. It needs to be reconstructed with compliant railings.

First Floor:

Accessible toilet rooms are required for this level.

A raised floor cover is present between the original building and the rear wing. It exceeds ½ inch in height and should be replaced.



Second Floor

Water coolers on this floor are not ADA compliant.

Hazardous Materials:

8x8 Vinyl composition tile is present in rooms throughout the building. This size tile tends to have either asbestos content or asbestos containing adhesives. There was evidence of some mold in room B27 Storage. (Refer to Appendix 'A', Condition Survey).

Mechanical, Electrical, Plumbing and other services. (Refer to Appendix 'C', MEP Survey)

Structural Systems

The building is constructed with load-bearing masonry walls and poured in place concrete floors. The structure is in good condition with the exception of a crack in the floor of Classroom 214. The crack is narrow and only appears in the floor and is probably caused by shrinkage.



Available Parking

The paved areas around the building are not fully striped but are sufficient to allow sufficient parking for any of the proposed uses.

The driveway access to the site is complicated as it is located to one side of an intersection with traffic signals. It can be difficult to enter and exit the site because of this. For any new use of the site this situation will need to be improved by adjusting the location of the easterly signal to keep the driveway unblocked, and to provide a signal for vehicles exiting the site.



Use Recommendations

Building Uses:

AMS has provided a market analysis for the building (See Appendices) that has resulted in suggestions for the following uses:

Reuse Options	Market Strength	Locational Strength	Community Impact	Overall Assessment
Senior Rental Housing - Affordable	High	High	Positive	Strong Option but will need public financial support
Market Rate Rental Housing	Low	Moderate	Positive	Existence of new market rate housing near downtown would be positive but more work is needed in downtown to bring this about – not a likely option at this time
Artists Housing	Moderate-High	High– though arts tenant base will need to be drawn wide area.	Positive	Artists housing is often looked as an option in areas in need of jump-start to downtown revitalization efforts. It's best undertaken by groups familiar with such housing and the type of marketing needed meet lease-up. Offers benefit of a commercial element. Needs subsidy to work. Considered a moderate re-use opt.
Medical Office Building	Low-Moderate	Moderate	Positive	As a submarket of the office market, Medical Office Buildings is the strong sector. However, the positives linked with location and possible connection with Bristol Hospital might be enough to tip this towards MOB use. Opportunity viewed as low to moderate.
Vocational –Technical School	Low-Moderate	High	Positive	This might represent a multi-tenant opportunity in which a technical school is the prime tenant. The presence of classrooms in the school makes consideration of this use an obvious candidate. The in-roads into this sector by on-line education is a red flag. On the whole, however, this is viewed as a moderate opportunity.
Art-Antiques Center	Low-Moderate	Moderate	Positive	A concept for an art-antique center that can also offer classes is more about vision than market. Typically this kind of use functions best surrounded by similar uses which can be accomplished in a single building. Other advantages include its downtown peripheral location and frontage on Route 6 (easy access). Parking should be easy as well. The one caveat is that this market has been hard hit by the recession and online trading. Thus tenant costs will need to be very reasonable in order to attract and maintain a core tenant base. However, this may make it difficult to underwrite building cost and improvements.

In addition to the market analysis other potential uses were developed while pursuing the best uses for the Town buildings:

Superior Court. In order to achieve an expansion for the Police Department the possibility of relocating the Superior Court to the Bingham School was explored. The building is significantly larger than the Courts space needs providing the opportunity for rental space for law offices or bail bondsmen. A suggested layout is included.

Demolition of the building provides an opportunity for new construction to resolve the town's space needs. New construction could be considered as an option for the following buildings:

Fire Department Headquarters. (15,000 SF) The current site is very tight for the needs of the department. Construction a new building on the Bingham site will provide plenty of on-site parking and maneuvering space for fire trucks. There is also an opportunity to construct a free standing building to allow for maintenance of fire trucks.

Police Department. (35,500 SF not including undercover parking) The Police Department has no opportunity for expansion at its current location unless the Courts are relocated. One solution would be to construct a new police department building to replace the Bingham School. Police vehicles are currently garaged so it may be desirable to create undercover parking in the new location. Having plenty of land area would allow for a drive-thru sally port.

Public Safety Complex. (50,000 SF) Another option would include combining Police and Fire Departments into a single Public Safety Complex resolving the space needs for both departments.

Building Sale:

Currently there is very little demand for a building such as the Bingham School. The age, inefficient layout, and required work necessary to bring the building up to today's standards are detrimental to the sale and would most likely result in the demolition of the building. Thus the sale price will be more reflective of the land value less the value of what the purchaser feels they could spend for demolition versus the land and building value combined.

The site is valued based upon \$175,000 per acre giving a total of \$526,000 for the 3.10 acres. The building is valued at \$12 per SF for a gross area of 32,396 SF (first and second floors) for a value of \$388,752. Together they total \$914,752.

**Bingham School
Interior Condition Survey**

Ratings: 1=Good; 2= Needs Re-finishing; 3= Replace

Bingham Basement								
Rm#	Name	Floor	Rating	Walls	Rating	Ceiling	Rating	Notes
B01	Choral Music	Wd Strip	2*	Brick Ptd	2	Tectum	3	*Cupped
B02	Music Stor	Wd Strip	2	Brick Ptd	2	Plaster	2	
B03	Music Rm	Ptd Conc	3*	Brick Ptd	2	Tectum	3	*Floor needs leveling
B04	Bk Storage	Ptd Conc	2	Ptd GWB/Brick	2	Conc	2	
B05	Reading Rm	Carpet	3	Ptd Brick/Plaster	2	Tectum	3	
B08	Spec Ed	Carpet	3	Brick Ptd	2	Tectum	3	
B09	Elec/Sprink	Ptd Conc	2	Brick	2	Plaster	3	
B10	Time Out	Carpet	2	Wall Padding	3	Tectum	3	
B11	Spec Ed	Wd Strip	2*	Brick Ptd	2	Tectum	3	*Cupped
B15	Girls	1 1/2x1 1/2 Mosaic CT	1	Brick Plaster	1 2	Ptd Conc	2	
B16	Toilet	2x2 CT	2	Brick Ptd	2	Ptd Conc	2	Missing lift up grab bar
B17	Hall	8x8 VCT	3	Plaster Ptd	3*	Tectum	3	*Water damage
B19	Hall	8x8 VCT	3	Plaster Ptd	3*	Tectum	3	*Water damage
B20	Cafeteria	8x8 VCT	3	Plaster Ptd	3*	Tectum	3	*Water damage
B22	Food Prep	8x8 VCT	3	4x4 CT Plaster Ptd	1 2	Plaster Ptd	2	
B23	Toilet	8x8 VCT	3	GWB Ptd	2	GWB Ptd	2	
B24	Custodian	8x8 VCT	3	GWB Ptd	2	GWB Ptd	2*	Plywd patch in ceiling
B25	Staff Rm	8x8 VCT	3	Ptd GWB/Brick	2	Plaster Ptd	2	
B26	Kit Storage	8x8 VCT	3	Ptd GWB/Brick	2	Conc	1	
B27	Storage	Ptd Conc	3*	Brick Ptd	2	Ptd Conc	2	*Replace slab cracked/mold
B28	Elec/Stor	Ptd Conc	2	Ptd GWB/Brick	2	Ptd Conc	2	
B30	Speech Rm	Carpet	2	Ptd GWB/Brick	2	2x4 Tectum	3	
B31	Art Room	Ptd Conc	2*	Ptd GWB/Brick	2		3	*Floor needs leveling
B33	Media Storage	Ptd Conc	2*	Brick Ptd GWB Ptd	2 2	Ptd Conc	2	*Cracked
B34	Library	Carpet	3	Brick Ptd	2	Tectum	3	Brick repairs needed. See plan
B35	Library Wk Rm	Carpet	3	Brick Ptd	2	Tectum	3	
B36	Jan Closet	8x8 VCT	3	Brick Ptd	2	Ptd Conc	2	
B37	Boys	1 1/2x1 1/2 Mosaic CT	2*	Plaster Ptd CT 4x4*	2	Ptd Conc	2	*Bad at floor drain *At Urinals

**Bingham School
Interior Condition Survey**

Ratings: 1=Good; 2= Needs Re-finishing; 3= Replace

Bingham Basement								
Rm#	Name	Floor	Rating	Walls	Rating	Ceiling	Rating	Notes
B38	Cust Wk Rm	Ptd Conc	3	Plywd Ptd	3	Plaster	3	
B39	Boiler	Conc	2	Plaster Ptd Brick Ptd	2 3	Plaster	2	
B001	Stair 1	8x8 VCT	3	Plaster Ptd	2	Conc	2	
B002	Vestibule	6x9 Quarry Tile	1	Brick	2	Plaster	2	
B003	Stair 3	Ptd Conc	2	Ptd Brick/Plaster	2	Ptd Steel/Conc	2	
B004	Stair	8x8 VCT	3	Brick Ptd	2	Ptd sH/Conc	2	
B005	Stair	8x8 VCT	3	Glazed Brick	2	Tectum	3	
B006	South Corridor	8x8 VCT	3	Brick Ptd	2	4x4 MH faced panels	1	
B007	Corridor	8x8 VCT	3	Brick Ptd	2	Ptd Conc	2	
B214	Hall	8x8 VCT	3	Ptd Brick/Plaster	2*			*Some moisture damage

**Bingham School
Interior Condition Survey**

Ratings: 1=Good; 2= Needs Re-finishing; 3= Replace

Bingham First Floor								
Rm#	Name	Floor	Rating	Walls	Rating	Ceiling	Rating	Notes
101	Classroom	Wd Strip	2	Plaster Ptd	2	Plaster Ptd	1	
102	Storage	Wd Strip	2	Plaster Ptd	2	Plaster Ptd	1	
103	Storage	Wd Strip	2	Plaster Ptd	2	Plaster Ptd	1	Didn't go in
104	CR	Wd Strip	2	Plaster Ptd	2	Plaster Ptd	1	
105	Work Rm	Ptd Wd	2	Plaster Ptd	2	Plaster Ptd	1	
106	Closet	Ptd Wd	2	Plaster Ptd	2	Plaster Ptd	1	Toilet removed/wd partition
107	CR	Wd Strip	2	Plaster Ptd	2	Plaster Ptd	1	
108	CR	Wd Strip	2	Plaster Ptd	2	Plaster Ptd	1	
109	CR	Wd Strip	2	Plaster Ptd	2	Plaster Ptd	1	Didn't go in
110	CR Storage	Wd Strip	2	Plaster Ptd	2	Plaster Ptd	1	
111	Toilet	12x12 VCT	2	Plaster Ptd	2	Plaster Ptd	1	
112	Health	12x12 VCT	3	Plaster Ptd	2	Tectum	3	
113	Toilet	2x2 CT	2	Plaster Ptd	2	Plaster Ptd	1	
114	Wk Room	Carpet	3	Plaster Ptd	2	Plaster Ptd	1	
115	Clerical	12x12 VCT	3	VWC	3	Tectum	3	
116	Principal	Carpet	3	VWC	3	Tectum	3	
117	Closet	12x12 VCT	3	GWB Ptd	2	Plaster Ptd	2	
118	Closet	Carpet	3	Plaster Ptd	2	Plaster Ptd	2	
119	CR	12x12 VCT	3	Plaster Ptd	2	Tectum	3	
120	Coat Rm	12x12 VCT	3	Plaster Ptd	2	Plaster Ptd	2	
121	Kindergarten	12x12 VCT	3	Plaster Ptd	2	Tectum	3	
122	Kindergarten	12x12 VCT	3	Plaster Ptd	2	Tectum	3	
123	Closet	12x12 VCT	3	Plaster Ptd	2	Tectum	3	
124	Toilets	1 1/2x1 1/2 CT	2	Plaster Ptd	2	Plaster Ptd	2	kindergarten toilets/adult seats
125	Storage	8x8 VCT	3	Plaster Ptd	2	Plaster Ptd	2	
126	Gym Auditorium	12x12 VCT 12x12 VCT	2 3	Brick*	1	Tectum	3	*water leaks + efflorescence on westwall See plans
127	Stage	Ptd Wd Strip	2	Brick Ptd	2	Ptd Conc	2	
128	Storage	Wd Strip	2	Brick Ptd	2	Ptd Conc	2	
129	Stage Wing	Ptd Wd	2	Plaster Ptd	2	Plaster Ptd	2	
130	Janitor	8x8 VCT	3	Plaster Ptd	3	Plaster Ptd	2	
131	Book Storage	8x8 VCT	3	Plaster Ptd*	3	Plaster Ptd	2	*see water damage on plans

**Bingham School
Interior Condition Survey**

Ratings: 1=Good; 2= Needs Re-finishing; 3= Replace

Bingham First Floor								
Rm#	Name	Floor	Rating	Walls	Rating	Ceiling	Rating	Notes
1001	N. Corridor	12x12 VCT	2	Brick Waiscot Plaster Ptd	1 2	Tectum	3	
1002	Stair	Ptd Steel 6x9 Quarry Tile	2 1	Plaster Ptd	2	Plaster Ptd	1	
1003	Stair 3	Ptd Steel	2	Plaster Ptd	2	Plaster Ptd Steel	1 2	
1004	Stair 4	12x12 VCT Ptd Wd Strip	3 2	Brick Ptd	2	Ptd Conc	2	
1005	Stair 5	12x12 VCT Ptd SH	3 2	Brick	1	Ptd Mtl	2	
1006	S. Corridor	Wd Strip	2	Plaster Ptd	2	Plaster Ptd	1	

Mechanical and Electrical Systems
Existing Conditions Narrative

Bingham School
Bristol, Connecticut
November 1, 2011

Prepared By
Consulting Engineering Services, Inc.
811 Middle Street, Middletown, Connecticut 06457
CES Project No. 2011127.00

APPLICABLE CODES AND STANDARDS

The mechanical, electrical, plumbing, and fire protection systems will be reviewed in conformance with the requirements of the following codes and regulations and all applicable local authority requirements.

- A. 2005 Connecticut State Building Code
- B. 2005 Connecticut State Fire Safety Code
- C. 2003 International Building Code(IBC)
- D. 2003 International Plumbing Code
- E. 2003 International Energy Conservation Code
- F. NFPA, All applicable code sections, Latest Version
- G. ASHRAE 90.1

PLUMBING NARRATIVE

PLUMBING UTILITIES

1. Domestic Water:
 - a. Existing Domestic Water Service: The existing domestic water service location and equipment could not be determined during the site walk-thru.
2. Natural Gas:
 - a. Existing Natural Gas Service: There is no natural gas service to the building.
3. Sanitary:
 - a. Existing Sanitary Service: The sanitary sewer system provides sanitary waste drainage for plumbing fixtures located throughout the building. The piping material above grade is primarily cast iron. The plumbing fixtures drain to buried sanitary waste piping to the buildings exterior and to the municipal sewer system.
4. Storm:
 - a. The storm piping is primarily downspouts that drain to an underground piping system and drains to the municipal storm water system. There are no secondary roof drains. Some of the original piping has been replaced with PVC pipe either in its entirety or in sections. This piping is in fair condition.



- b. There are no reports of problems with the storm water piping below grade.

PLUMBING FIXTURES AND SPECIALTIES

1. Existing plumbing fixtures are as follows:

- Water closets are wall and floor mounted in the standard toilet rooms and small 10" bowl size, floor mounted in the classrooms. Both styles are flush valve, vitreous china. The fixtures are original to the facility in fair condition. The original fixtures are non-water conserving type and non-ADA compliant.



- Urinals are wall hung, vitreous china, with flush valves. The fixtures are original to the facility in fair condition. The original fixtures are non-water conserving type and non-ADA compliant.



- Lavatories are wall hung vitreous china with two twist or lever style faucets. Some of the faucets have been replaced with single lever operated faucets. The fixtures range from original to the facility in fair condition to ones with new faucets in good condition. The original fixtures are non-water conserving type and the faucets and drains are non-ADA compliant.



- Drinking fountains are wall mounted stainless steel units in fair condition. One of the single units may be ADA compliant with respect to controls however there are other units that do not have ADA compliant controls. The distance these units protrude into the path of travel should be reviewed for compliance with current ADA requirements.



- Stainless steel sinks with two lever gooseneck type faucets are present in various areas of the facility. These sinks are non-ADA compliant and in fair condition.



- Janitor sinks are a combination of wall mounted cast iron units with two lever faucets or floor mounted molded stone units with two lever faucets. There are no vacuum breakers present at these sinks. The sinks are original to the building and in poor condition.



DOMESTIC HOT WATER SYSTEMS

1. The existing domestic hot water system includes an A.O. Smith Model ELSC10 917 electric water heater as the primary source of domestic hot water, (1) A.O. Smith Model EES-80 electric water heater to serve the kitchen, (1) small shelf mounted electric water heater, and (1) ISE Model W152 instantaneous hot water heater in one of the class rooms. All of this equipment is in fair to good condition.



FIRE PROTECTION NARRATIVE

FIRE PROTECTION SERVICE

1. The building is served by a 6" fire protection service fed from a fire main in North Main Street. This fire service includes a shut-off valve and Watts Model 774 double check valve. This fire protection service feeds sprinklers throughout the building. There is also a dry sprinkler system. The dry system has a new air compressor installed to maintain system pressure. This fire service equipment has been recently installed and is in good condition, however, the sprinkler piping and sprinkler heads are an older installation, more than 30 years old, and should be replaced.



MECHANICAL SYSTEMS:

EXISTING SYSTEMS

1. The existing building is heated by (2) HB Smith Mills 44 18-section cast iron steam boilers with Carlin Model 1050FFD-20 oil burners. The boilers and breeching are original to the building and in poor condition. The oil burners have recently been replaced and are in very good condition.



2. The heating plant also includes a condensate receiver and boiler feed system. There were visible leaks in both these systems at the site visit. Both of these systems are in very poor condition.



3. The present heating system also includes cabinet unit heaters, ceiling mounted unit heaters, cast iron radiators and baseboard radiation. This equipment is original to the building and in good to very poor condition.





4. There are various exhaust fans throughout the building that serve general areas such as corridors and the gymnasium which includes roof mounted exhaust fans, ductwork, grilles and controls. The lower level cafeteria lacks adequate ventilation. The ventilation systems that are present are original to the building and in poor condition.





5. The steam piping consists of iron supply and condensate return piping. Some of this piping is missing insulation or the insulation has failed and replaced. There also have been areas where leaks are evident and repairs have been made to this piping.



6. The Gymnasium has paddle fans installed to help with air circulation in the space.



7. The existing temperature control system consists of local controls mounted at the individual radiators, cabinet unit heaters, etc. and some additional sensors throughout the building. The exhaust fans in the gymnasium operate via a local selector switch. This control method is antiquated and does not offer the opportunity for maximum energy savings.



ELECTRICAL NARRATIVE

EXISTING SYSTEMS

1. The building is served by a single electrical service rated 400amperes, 208Y/120volts, 3-phase, 4-wire. This service equipment consists of a 400amp main disconnect switch, distribution and metering per utility company requirements. The service equipment has been recently replaced and is in very good condition.



2. There are a number of electrical panels located throughout the facility. These panelboards have been recently installed with the electrical service equipment. The condition of these panelboards is very good. The majority of the panelboards do not have spare circuit breakers available for new circuits to be added, or have space to add new circuit breakers.



3. The lighting throughout the facility consists primarily of surface mounted acrylic lensed wraparound style fluorescent fixtures throughout the facility. Some areas such as storage rooms, mechanical rooms have industrial fluorescent fixtures. Most of the lighting has been upgraded to newer T8 technology, however, there are other fixtures using older T12 technology or incandescent lamps. Some of the fixtures have been damaged and are missing lenses. The lighting ranges from good to poor condition.



4. The fire alarm system is manufactured by FCI. The system includes manual pull stations, horn strobes, and ceiling mounted heat detectors. Some of the horn/strobe units are partially blocked by piping. This system is in fair condition and non-ADA compliant. Smoke detectors and additional audio visual devices should be added to the building.





5. The emergency lighting is provided by two-head self-contained emergency fixtures with batteries or a surface mounted 9"x9" self-contained emergency fixture. This system is operational however the equipment is in poor condition. Additional lighting fixtures are required to meet current requirements for emergency lighting.



6. The exit signs consist of fluorescent exit signs with batteries. This equipment is in good condition. It was noticed that some exit signs are covered by piping reducing their visibility. Additional exit signs are required to meet current requirements for exit signs.



7. The facility does have a limited security system consisting of a control panel, limited cameras, door contacts, motion detectors, and a door entry intercom with camera. This system is in fair condition. Additional devices may be considered for enhanced security.



8. The existing PA system consists of wall mounted speakers. Some of this equipment does not appear to be operational as it is disconnected. There is no central clock



system as it appears that all of the clocks have been removed.

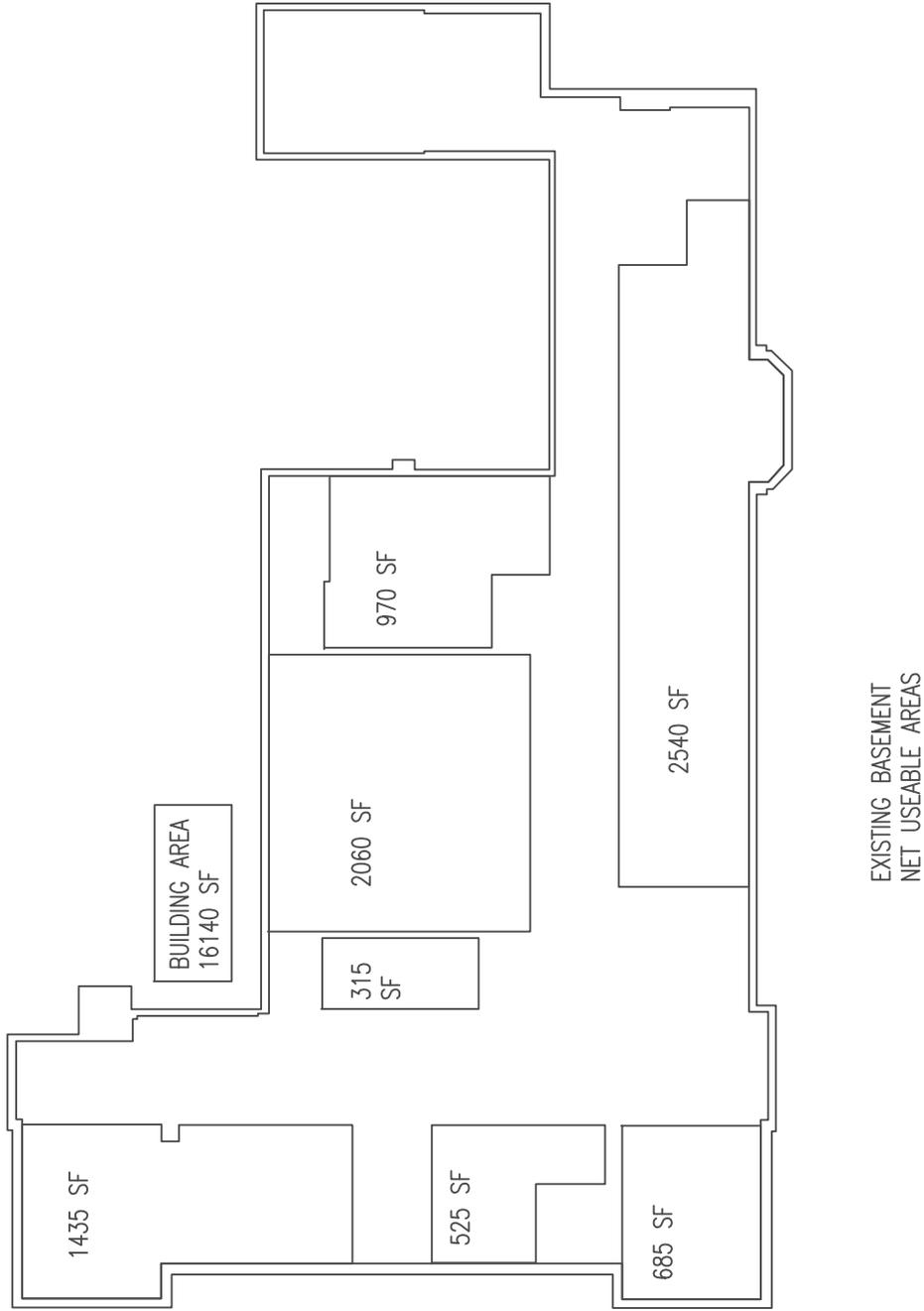


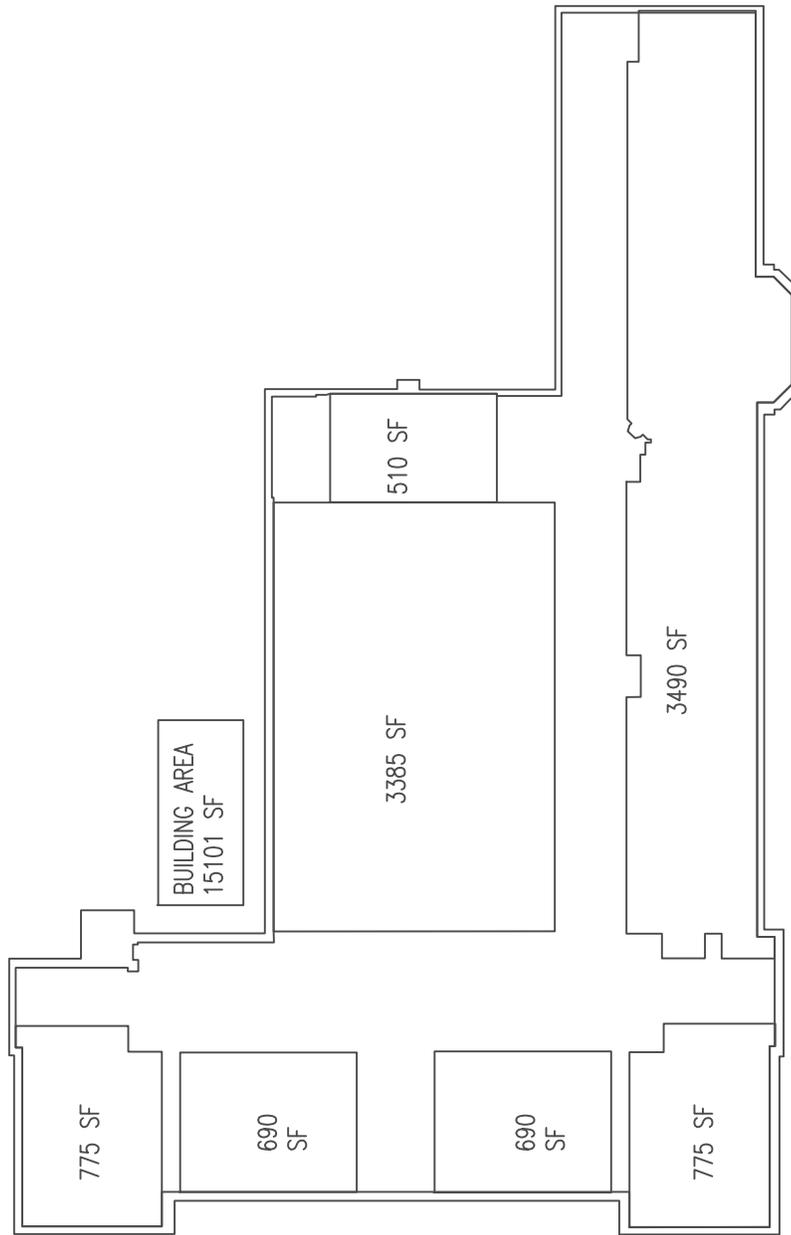
MEP SYSTEMS CONCLUSION

In general with the exception of the electrical panelboards and sprinkler service equipment, all of the other systems are 40+ years old and have met their useful life expectancy. The system components are very inefficient. The ventilation system does not meet current code requirements. We recommend that most of the systems be replaced with new.

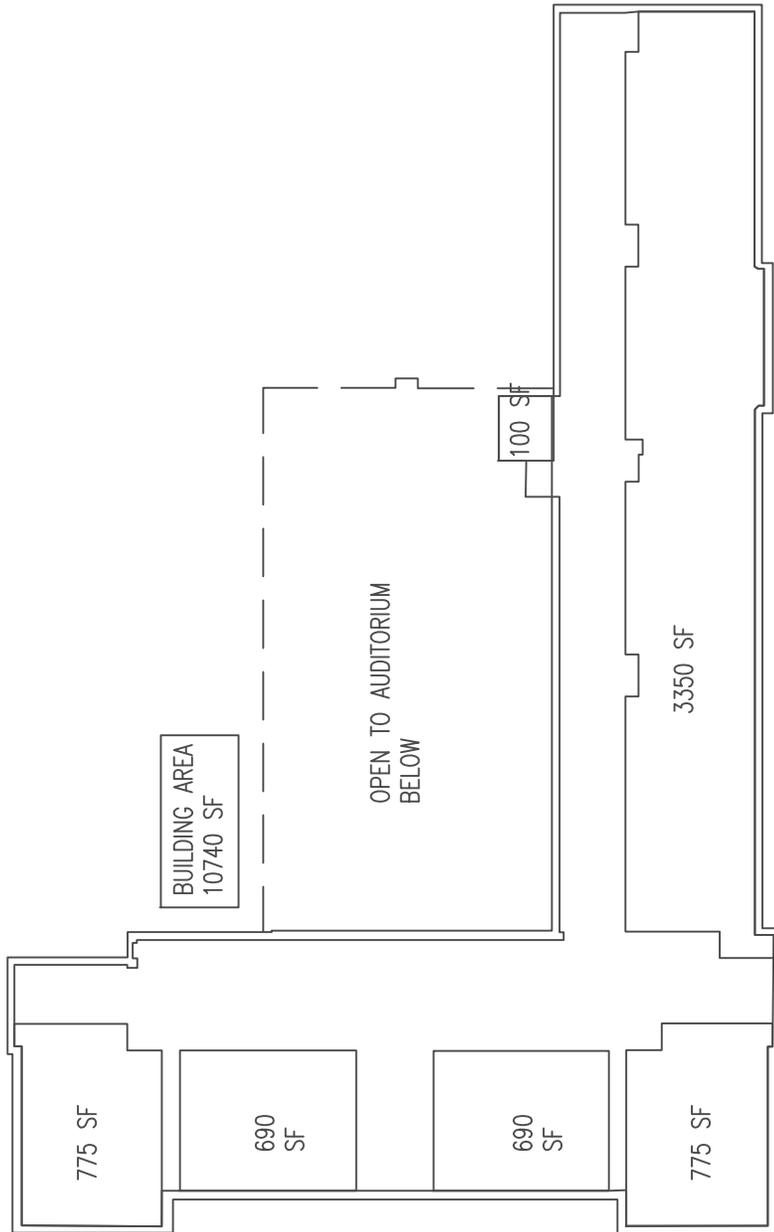
**Bingham School
Net Useable Areas**

	Current Space SF	Useable per Floor
Basement Useable Areas		
	1435	
	525	
	685	
	2540	
	315	
Cafeteria	2060	
	970	
		8530
First Floor Useable Areas		
	775	
	690	
	690	
	775	
	3490	
Auditorium	3385	
Stage	510	
		10315
Second Floor Useable Areas		
	775	
	690	
	690	
	775	
	3350	
	100	
		6380
TOTAL NET SF	25225	
COMMON AREAS & WALLS	16756	40%
TOTAL BUILDING AREA	41981	





EXISTING FIRST FLOOR
NET USEABLE AREAS



EXISTING SECOND
FLOOR
NET USEABLE AREAS

RENOVATIONS OF CLARENCE A. BINGHAM SCHOOL

3 NORTH STREET BRISTOL CONNECTICUT 06010



HARTFORD DESIGN GROUP
ARCHITECTS/PLANNERS
292 S. MARSHALL ST. HARTFORD, CONNECTICUT 06105

BURTON & VAN HOUTEN
ENGINEERS, INC.
10 NORTH MAIN ST. WEST HARTFORD, CT. 06107

ARCHITECTURAL
A1 BASEMENT FLOOR PLAN
A2 FIRST FLOOR PLAN
A3 SECOND FLOOR PLAN
A4 ROOF PLAN & DETAILS
A5 BASEMENT REFLECTED CEILING PLAN
A6 FIRST FLR. REFLECTED CEILING PLAN
A7 SECOND FLR. REFLECTED CEILING PLAN
A8 STAIR PLANS, SECTIONS & DETAILS
A9 LIBRARY PLANS & ELEVATIONS
A10 CAFETERIA FLR. PLAN & ELEVATIONS
A11 CAFETERIA CLG. PLAN, KITCHEN, TOILETS,
& JANITOR PLANS
A12 HEALTH/DENTAL, CLERICAL, PRINCIPAL/
CONFERENCE PLANS & ELEVATIONS
A13 ENCLOSURE & WALL TYPES AND MISC. DTLS.
A14 MILLWORK & MISC. DTLS.

PLUMBING
P1 BASEMENT PLUMBING PLAN
P2 FIRST FLOOR PLUMBING PLAN
P3 SECOND FLOOR PLUMBING PLAN & SCHEDULES
HVAC
H1 BASEMENT HVAC PLAN
H2 FIRST FLOOR HVAC PLAN
H3 SECOND FLOOR HVAC PLAN
ELECTRICAL
E1 BASEMENT LIGHTING PLAN
E2 BASEMENT POWER PLAN
E3 FIRST FLOOR LIGHTING PLAN
E4 FIRST FLOOR POWER PLAN
E5 SECOND FLOOR LIGHTING PLAN
E6 SECOND FLOOR POWER PLAN

GENERAL NOTE: MANUFACTURER'S NAME AND COLOR NUMBERS ARE GIVEN TO INDICATE DESIRED COLORS AND TEXTURES; BRUNNUS ARE ACCEPTABLE.

1 9" x 9" TILE 1/8" TH. KENTILE "ETRUSCAN" C-277

2 9" x 9" TILE 1/8" TH. KENTILE "MALVERN" C-285

4 VINYL GOND BASE RENOVATED BY KENTILE GROUP II "DESIGN" KC-21

CODE INFORMATION

USE GROUP: S-4 SCHOOL

CONSTRUCTION TYPE: SB, EXTERIOR MASONRY WALLS, PRIMARY FLOORING (CONCRETE) AND SECONDARY FLOORING OF COMPOSITE MATERIAL FLOORING AND JOINTS AND SUBS.

AREA ANALYSIS: BASEMENT FLOOR: 10,100 S.F.
 FIRST FLOOR: 19,700 S.F.
 SECOND FLOOR: 11,500 S.F.
 TOTAL BUILDING: 41,300 S.F.

NOTE: THIS BUILDING IS 100% GREENLEAF.

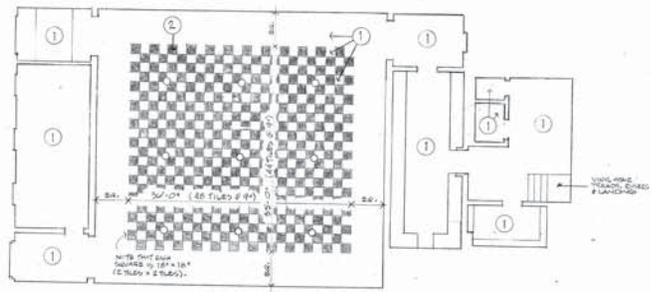
LINTEL SCHEDULE

Unless otherwise noted on Plans, furnish loose angle lintels for all openings in masonry walls, such as door openings, windows, recesses, ducts, vents, pass through, etc. For each 4" of masonry, provide one angle as follows:

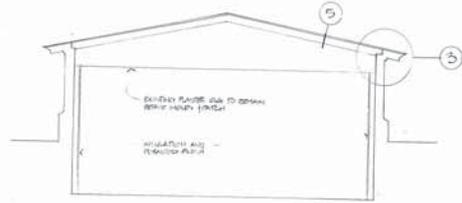
Size	Lintel
Up to 4'-0"	L 3-1/2 x 3-1/2 x 5/16
4'-0" to 5'-0"	L 4 x 3-1/2 x 5/16
5'-0" to 6'-0"	L 5 x 3-1/2 x 5/16
6'-0" to 7'-0"	L 6 x 3-1/2 x 3/8

For 6" walls, use two angles with 3-1/2" outstanding legs. For 4" walls, use ST 3 x 4-25. Lintels shall have 6" of bearing at each end.

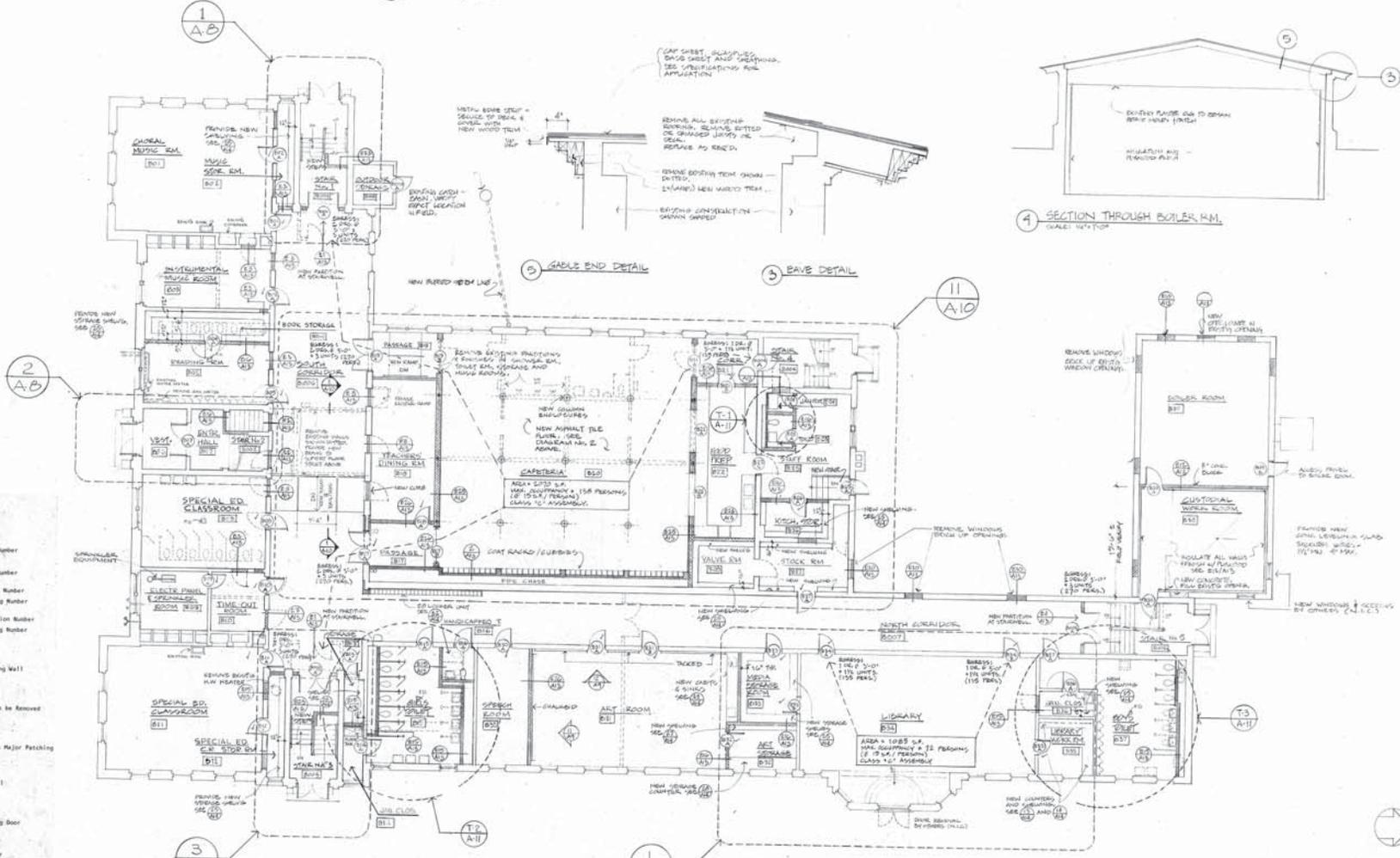
1 ASPHALT TILE COLOR SCHEDULE



2 CAFETERIA ASPHALT TILE LAYOUT
SCALE: 1/8" = 1'-0"



4 SECTION THROUGH BOILER RM.
SCALE: 1/4" = 1'-0"



- KEY**
- ⊕ Door Number
 - ⊕ Room Number
 - ⊕ Detail Number
 - ⊕ Drawing Number
 - ⊕ Elevation Number
 - ⊕ Drawing Number
 - Existing Wall
 - - - Wall to be Removed
 - ▬ Denotes Major Parting
 - ▬ New Wall
 - ⊕ Existing Door
 - ⊕ New Door

5 GABLE END DETAIL

3 EAVE DETAIL

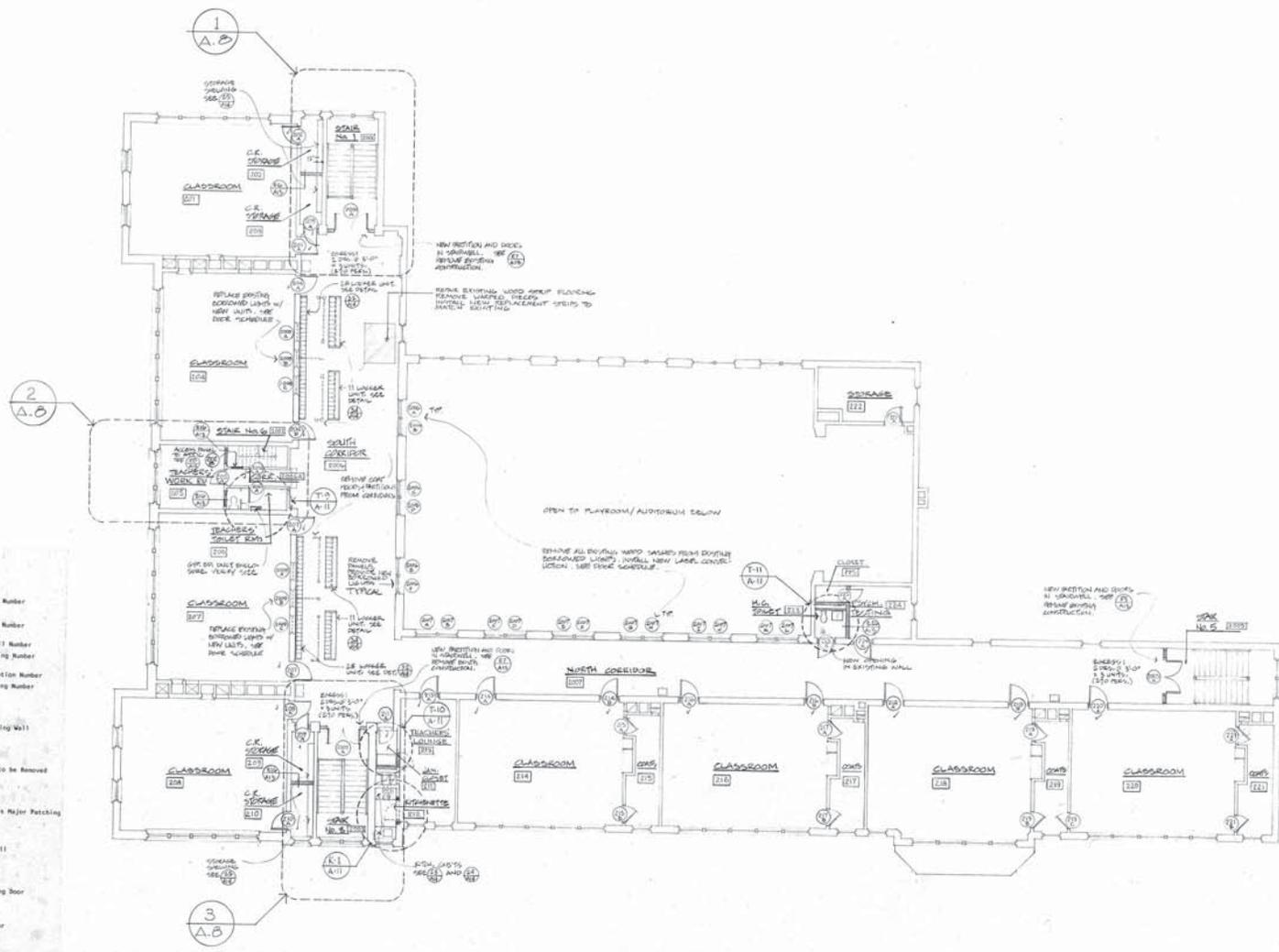
6 BASEMENT FLOOR PLAN
1/8" = 1'-0"

LINTEL SCHEDULE

Unless otherwise noted on Plans, furnish loose angle lintels for all openings in masonry walls, such as door openings, windows, recesses, ducts, vents, pass throughs, etc. For each 4" of masonry, provide one angle as follows:

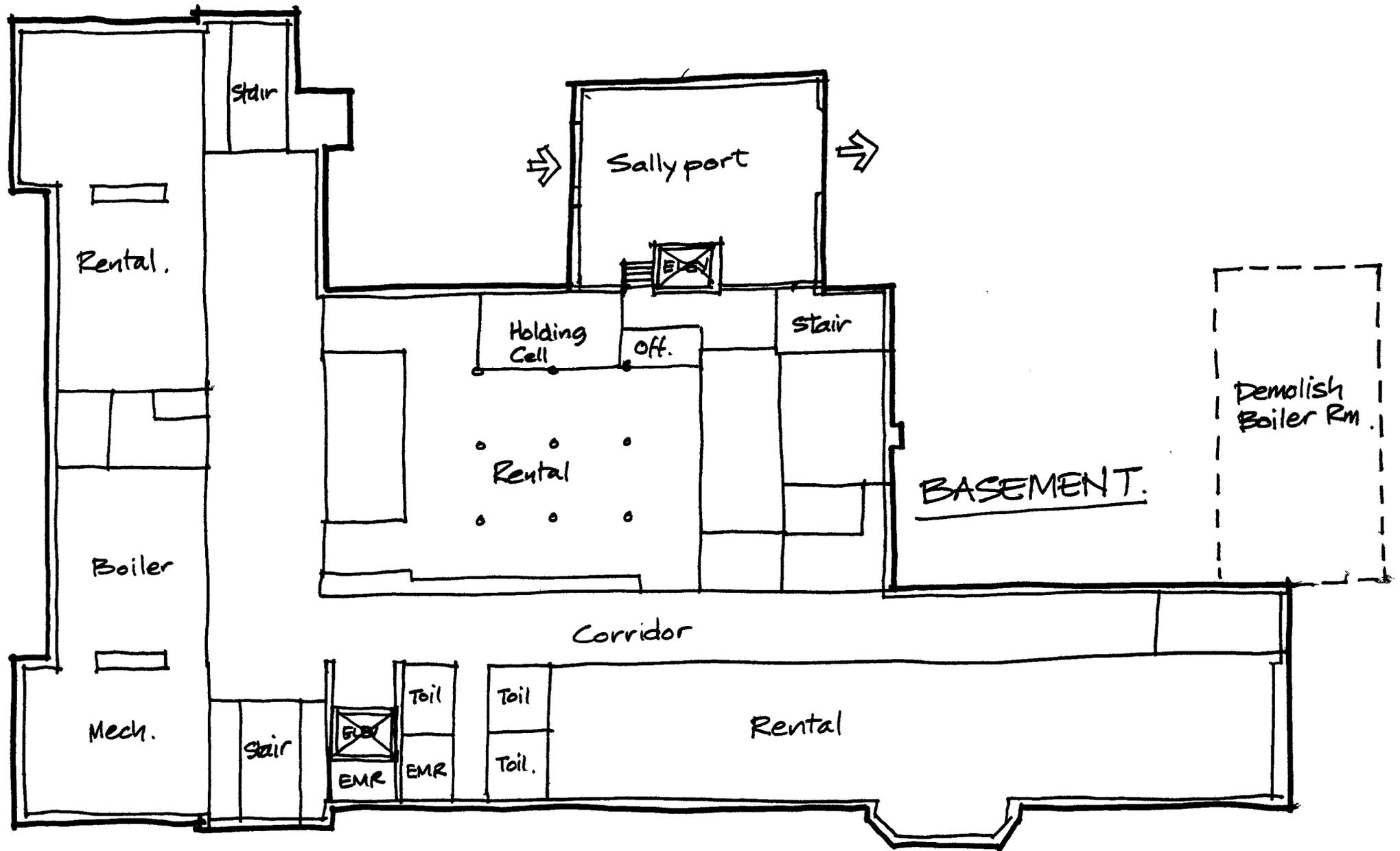
Size	Lintel
Up to 4'-0"	L 3-1/2 x 3-1/2 x 5/16
4'-0" to 5'-0"	L 4 x 3-1/2 x 5/16
5'-0" to 6'-0"	L 5 x 3-1/2 x 5/16
6'-0" to 7'-0"	L 6 x 3-1/2 x 3/8

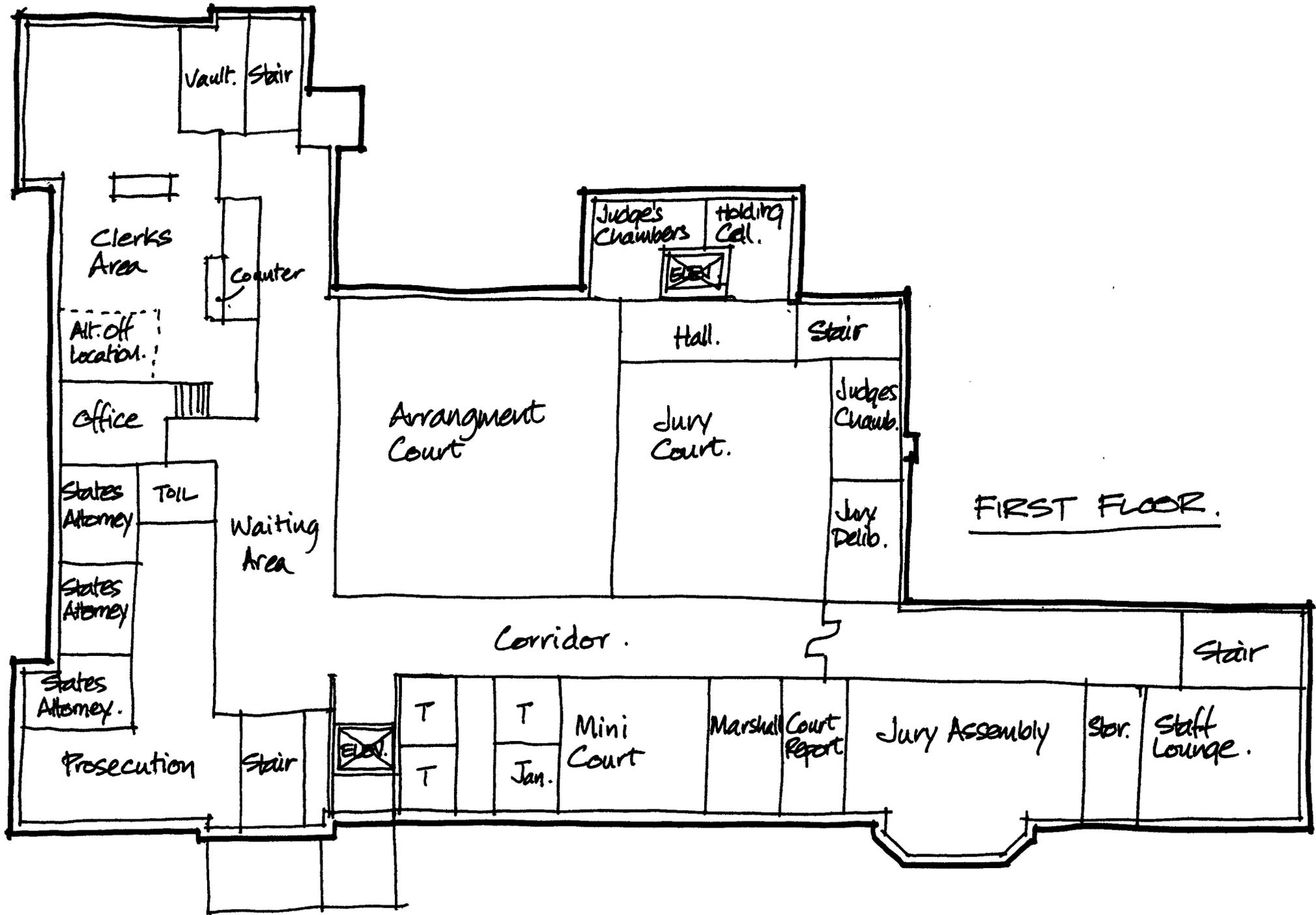
For 6" walls, use two angles with 2-1/2" outstanding legs. For 4" walls, use 3" x 6-3/8". Lintels shall have 6" of bearing at each end.

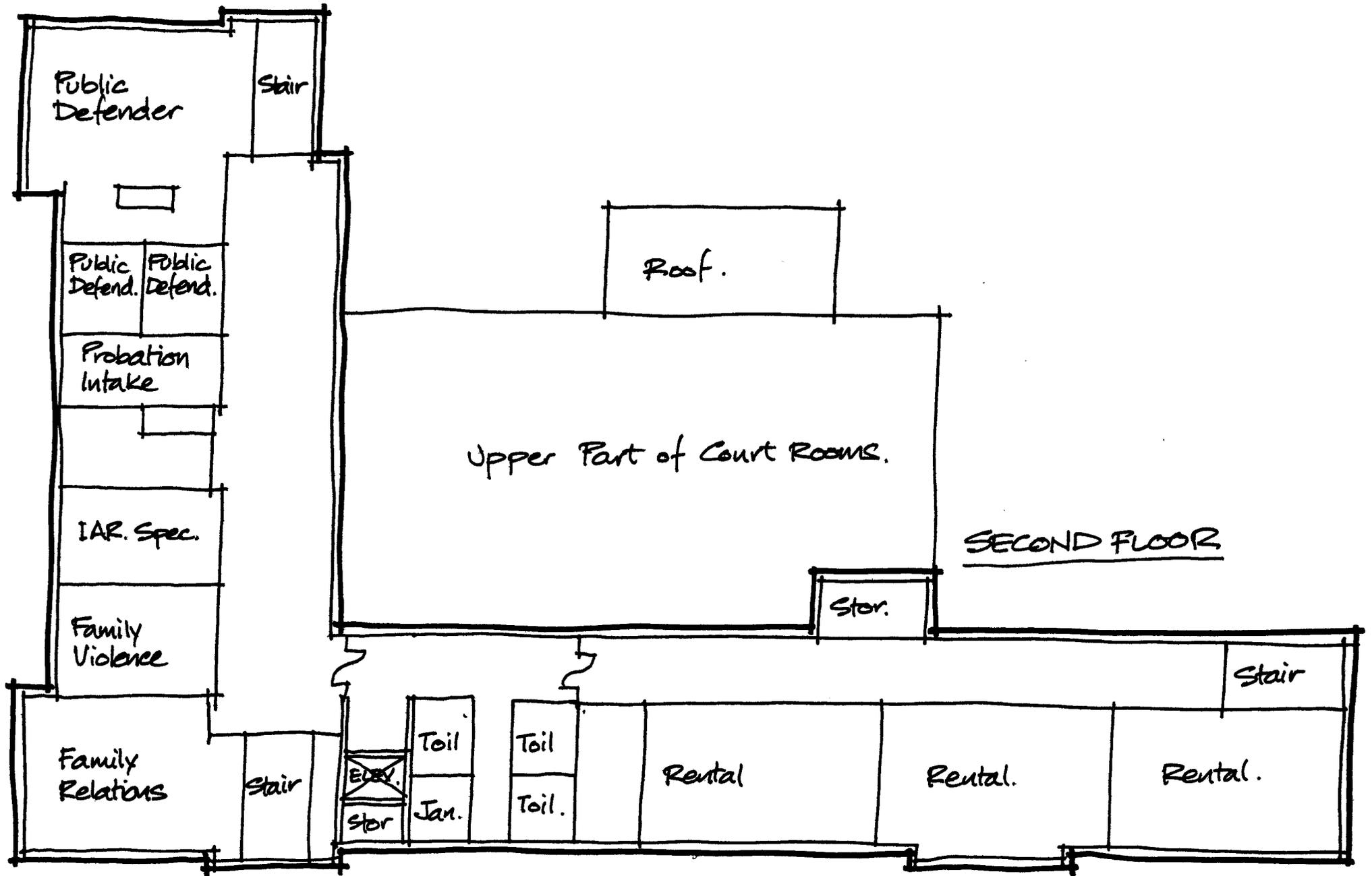


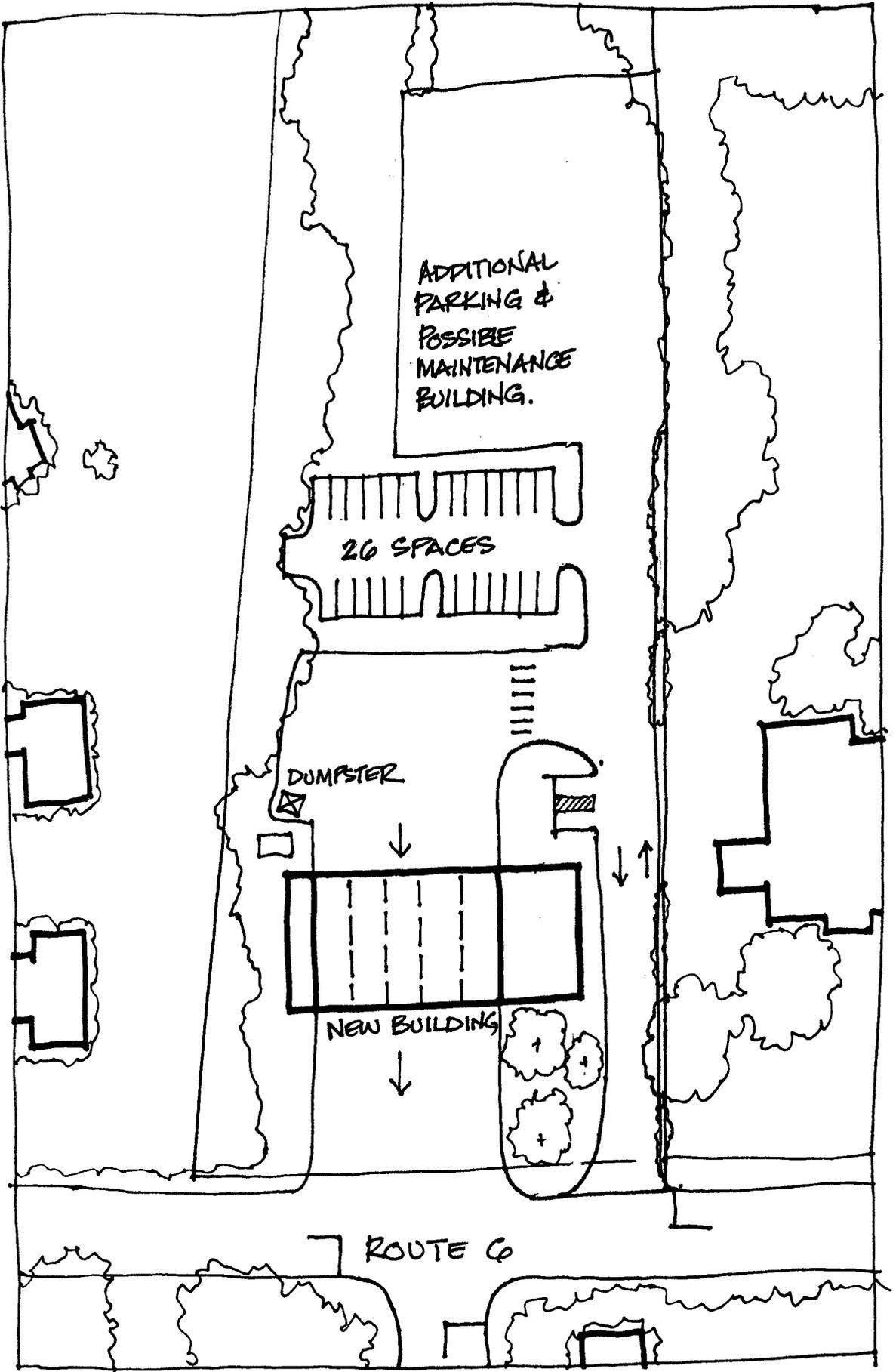
- KEY
- Door Number
 - Room Number
 - Detail Number
 - Elevation Number
 - Drawing Number
 - Existing Wall
 - Wall to be Removed
 - Denotes Major Patching
 - New Wall
 - Existing Door
 - New Door

SECOND FLOOR PLAN
1/8" = 1'-0"









Market Opportunity Review – Clarence A. Bingham Elementary School

The following represents a summary of our finding on potential market opportunity for reuse of *Clarence A. Bingham Elementary School*, an elementary school in Bristol Connecticut slated for closing. In evaluating potential for the school, four factors were considered:

1. Market opportunity
2. Locational Assets and Liabilities
3. Building compatibility
4. Community benefit

With few exceptions, primary focus of research and analysis centered on reuse scenarios that would entail acquisition and rehab of the school by an outside entity as opposed to options involving city retention of ownership. Also, in undertaking the evaluations no limitation was placed on targeted uses based on existing zoning. Nor did we consider options linked with possible municipal re-use since this was being reviewed by others on the team. Finally, all scenarios involve re-use of all or part of the school building and do not include any options involving land-only scenarios given the implicit desire by the city to preserve the schools if possible.

This research includes both interviews and discussions with key representatives in the industry and secondary research into supply and demand factors. In undertaking this market research, it was understood that this would serve as a preliminary assessment that serves as a guide on possible options with no attempt being made at this stage to quantify potential demand or estimate achievable price points. Below represents our summary of market findings for each school and conclusions on potential reuse potential identified for each.

Clarence A. Bingham Elementary School

Locational Factors

- Population density within the immediate area (0.5 mile radius) is modest at 3,441 inclusive of 171 persons in group quarters. At 1.5 mile radius, defining a market for most convenient based retail and services, it expands to a population base of 22,900.
- The immediate neighborhood is considerably older compared to larger trade area with median age within the neighborhood market at 40.8, vs 38.5 in the larger 1.5 mile trade area



- Bingham is located within a mixed use commercial area on a major corridor with nearby uses that include a church, residences, two banks, and a social club.
- A marketing plus for the school, particularly for non-residential uses, is that it fronts directly on Route 6, a main east-west corridor for Bristol and the region. Based on data from CT Dept of Transportation an average of 17,000 to 18,000 vehicles travel daily by the school representing one of the more heavily traveled areas of Bristol.
- Access to the Bingham school site is excellent by car or public transportation. A bus stop is located a short distance from the school at the intersection of Route 6 (Park St) and North Main.
- Bingham's proximity to the downtown constitutes an important marketing asset for residential options considered for the school. Nearby can be found several banks, drycleaner, restaurants, coffee shops, food stores, including a natural food market and other convenient retail and services. In addition the main post office, City Hall, the main library and Bristol Hospital (the latter approximately one mile from the school) all located in or around the downtown can be easily accessed from the school site.
- The downtown is also the focus of a major long term redevelopment effort of a 17-acre site that calls for greatly expanding the mix of uses downtown, particularly residential. Due to the scale of the proposed undertaking, private investment interest could be enhanced for the school over time due to its proximity to redevelopment effort.
- Traffic loads on Route 6 are heaviest just east of the school and diminish dramatically immediately west of the site as the density of uses along the corridor drop considerably. For options involving residential uses, this fall-off in traffic (and possibly noise) is a positive.

Building Factors

- According to Vision Appraisal the market value of Bingham School is \$3.2 million (as of October 1 2007). One can assume this has fallen by as much as 15 to 20% by 2011. Total parcel size is 3.1 acres. Parking space or potential for parking appears adequate for most envisioned uses for the building.
- As a turn of the century building (constructed in 1916), the school would be eligible for CT historic tax credits depending on use. This can be combined with the federal historic preservation tax credits if qualified.
- Net usable space within Bingham is calculated at 25,225 sf (inclusive of cafeteria and auditorium). This also includes the basement where a portion, though not all, is below grade. In terms of income potential, rents offered for basement space would likely be discounted to upper story space.

- In terms of configuration the building appears suitable for both residential and non-residential use. The one caveat is the basement which would have more of a market impact on residential over commercial or other non-residential use.
- At 25,000 sf of net usable space, Bingham could potentially accommodate between 25 to 35 units. This assumes between 800 to 900 sf per unit and also includes the basement area. If the senior housing was considered, the yield might be slightly higher given smaller units. For a market rate rental project, this may be less than what is considered optimum yield which looks for economies of scale to help offset operation costs. This is less of an issue for residential projects receiving subsidy.
- For most options involving commercial reuse of Bingham School, the calculated ratio for usable space of 25,225 sf conforms to most scenarios involving small investor-owned multi-tenanted commercial space.
- The School's unique characteristics which include presence of single loaded corridor (opens up the interior space to natural light), high ceiling (except for the basement), high windows, built in components, wood floors, paneled walls (certain rooms) present opportunities for niche marketing to end users who find these elements appealing.
- The auditorium/gym presents an opportunity for adding a unique element as an amenity or for other programmatic use for either residential or non-residential reuse rarely seen in comparable non-reuse space.

Conclusions on Market Potential – Bingham Elementary School

Of the two schools evaluated, Bingham School presents by far the strongest market potential for a variety of uses. Factors contributing to its marketability include frontage on Route 6, a major east-west axis of the city, proximity to the downtown and configuration of the building. Below is a summary of conclusions on five alternative options.



- Senior Housing
- Artists Housing
- Medical Office Building
- Technical or Vocational School
- Arts and Antique Center

Senior Housing Opportunity

Market Considerations

- Demographic Advantages: Bristol has a significant base of seniors with 15% age 65 and above in 2010 vs 14% for the state. By 2015, the percent of Bristol seniors is expected to jump to 16% vs 14.7% for the state.
- Demographic Constraint: Bristol's younger seniors are fairly well off with median income for households age 55 to 64 at \$70,205, but this dips to \$41,208 for seniors 65 to 74. Moreover, more than a third of all seniors over 65 in Bristol, considered the starting point for most senior housing, earn under \$25,000 a year and half of this amount is less than \$15,000. Affordable rents at this income based on 33% of income would range between \$415 to \$625/m.
- Subject Site Locational Advantages: The presence of Bristol Hospital less than a mile from the school site is considered a plus for most forms of senior housing. The school site's downtown location is also seen as an advantage for senior housing allowing for easy access to public transportation as well as medical care, community services, retail and other related services.
- Bristol Senior Housing Supply: Bristol has a broad range of senior housing options though most are income restricted targeting low to moderate income households. The one exception is the recently completed Riverview Apts (139 units) on Laurel Ave in the downtown for seniors 55 and older (this property is up for sale). Also located in the downtown is the DeLorenzo Apartments for seniors (moderate income housing) and Ingraham Manor Nursing Homes (managed by Bristol Hospital). In addition the town has one assisted living facility (Shady Oaks Assisted Living), 9 independent and/or congregate senior housing complexes – all income restricted with exception of Riverview Apts¹ and five nursing homes including the one noted above. There were no special care senior facilities identified in Bristol (for example: Alzheimer Center or Memory Center).
- Adaptive Reuse of Schools to Senior Housing: In Connecticut and indeed across the country, conversion to senior housing ranks either #1 or close to the top (possibly behind municipal reuse) as the most common reuse option for surplus schools. The reasons for this are several and not always the same for each location.

¹ Five of the complexes are owned and managed by Bristol Housing Authority.

Frequently such schools are found in areas where residential is the only appropriate use and the provision of senior housing meets a community need. Most schools are also of a size that generates an ideal number of units for senior housing – between 25 to 50 units. There is often ample public support for senior housing in a community over alternative uses. And finally, many municipalities will either discount or waive acquisition costs for senior housing in order make the units affordable.

Assessment of Opportunity - Senior Housing

While the data on Bristol suggests both existing and future demand for senior housing at all income levels, much of this housing built to date in the city has centered on low to moderate income households. Reportedly, there has been little interest from private developers of higher-end senior facilities to build in the city despite the lack of such product in the Bristol. Instead, much of this activity has been gravitating to surrounding suburban communities that include Farmington and Southington. The one foray into market rate senior housing in Bristol has been Riverview Apartments in the downtown which several sources have indicated has struggled to maintain optimum occupancy.

Senior Affordable Housing

With that being the case, the strongest reuse option for Bingham as Senior Housing would be for housing targeting low to moderate income seniors where demand is substantial (as noted by waiting lists at various senior housing complexes) and supply continues to be woefully short. Given the special nature of such projects and the need for public funding, often from various sources, it often helps to involve a non-profit with a strong and successful track record with such developments. New Samaritans out of the New Haven area is one such group with vast experience in working with state and federal programs for senior housing including most recently a rehab of a high school in the City of Derby for senior housing. There are other organizations and private developer that build and manage affordable senior housing including the Bristol Housing Authority. Although with the latter, recent discussions with representatives have indicated there is less focus on adding to their portfolio and more on improving and financially upgrading the properties they have.

Special Purpose Senior Facility

Outside an affordable housing scenario, there are few options involving senior housing for the Bingham School site. One remote option that could be explored would be a possible partnership by a private operator with Bristol Hospital for a special purpose senior facility. This would be similar to an arrangement made by an assisted living facility operator in Southington who partnered with Bradley Hospital. The school would not be of sufficient size for a market rate assisted living facility (nor do we believe there is sufficient market support for one). However, the lack of any specialized facilities such as Alzheimer Center or Memory Unit in Bristol may suggest an opportunity to meet demand for such specialized care in Bristol. Given the Hospital currently operates the

Ingraham Manor Nursing Home & Rehab Center downtown, this could represent a sister facility.

Artist Rental Housing Opportunity

Artists Housing

- The creation of Artists Housing in downtown locations has recently become a popular tactic for reinvigorating dormant urban centers. In Connecticut there are eight such complexes which have been completed in the last 15 years. All involved reuse of old buildings and all entailed use of some level of subsidy.
- A key player in the development of artists housing has been Artspace, a Minneapolis based development firm who has built four such projects in Connecticut (Bridgeport, Hartford, Norwich, and Wyndham). New Horizons out of New Haven has also successfully completed two such artists' housing projects in the last decade.
- A common theme in many of the artist housing projects is the establishment of gallery space or sales room that would allow for display and sale of works of art. For Bristol, this would allow introduction of gallery space and display and sale of local arts and crafts that could add to the cultural economy of the downtown.

Market Considerations - Rental Housing Conditions

Below is a review of rental housing conditions as it relates to the potential for either market rate housing or a concept for affordable artists housing.

- Rental housing is gaining in tenure stature in Bristol, a trend that is reflected statewide and nationally as more households turn to rental either by choice or due to stricter underwriting. Based on recent estimates, rental housing occupancy in the city has jumped to 36% compared to 35% a decade ago and projected to rise higher over the next five years. Meanwhile, home ownership has fallen to 57% from 59% in 2000.
- A survey of rental pricing in Bristol and surrounding area reveals Bristol as one the most affordable and lowest in rent price for rental housing.
- Much of Bristol's rental inventory found in managed apartment complexes is linked to old garden-style product predating the 1970s. Rental rates at these facilities are considered moderate by region standards and often include utilities. Supplementing this market are low cost rentals found in multi-family homes which in Bristol – more so than the immediate trade area, represents an important source of rental housing.
- One dynamic affecting Bristol rental pricing is the lack of new market rate rental product which in large part is affected by the income profile of Bristol. The latest

completed rental development in Bristol was Riverview Apartments built in 2006 in downtown Bristol for seniors 55 and older, though most residents in the complex are 70 years and older. Prior to Riverview, the last rental apartment complex built in Bristol was Huntington Woods, a 280-unit mixed-income project built in 1991. Due to public financing, 40% of this complex is rented to low to moderate income households.

- An analysis of Multi-family rent transactions closed over the last year within Bristol reflected the average rents: \$632/m for a one bedroom, \$815/m for a two bedroom unit and \$909/m for a three bedroom unit. .
- Higher rental values in attached housing in Bristol were found in Condominium rentals, which averaged \$750/m for one bedroom, \$993/m for two bedrooms and \$1150 for three bedrooms. A comparison to other area towns noted that condo rents at Bristol however, trended lower to all towns with exception of Plymouth.
- Average rents among the surveyed complexes (managed apartment complexes) calculated to \$815/month for one bedroom, with two bedrooms averaging \$937/month. By comparison, Plainville and Southington reported averages of \$1112/month and \$982/ month, respectively, for two bedrooms.

A summary of the analysis of rental data for both MLS transactions and apartment survey is provided below.

Rental Analysis Summary Multifamily Apts - 2011

Town	# of properties	Average Rent Rate		
		One BR	Two BR	Three BR
Bristol	62	\$632	\$815	\$909
Plainville	9	\$732	\$853	N/A
Plymouth	14	\$608	\$741	\$875
Southington	26	\$703	\$977	\$1219
4-Town Region Summary		\$712	\$850	\$993
Rental Range		\$495-\$985	\$595-\$1300	\$815-\$1450

Source: MLS, Property Managers

Apartment Survey – Bristol Trade Area

Town	Efficiency	1 BR	2 BR	3 Br
Bristol	\$672	\$815	\$937	\$1,279
Plainville		\$911	\$1,112	
Southington		\$847	\$982	

Assessment of Opportunity – Artist Housing

Based on the above market review, it is believed there is little opportunity at the present to do a straight up market rate housing project at the school – even if the property sale price was heavily discounted². This leaves the option for subsidized rental housing for low to moderate income families which for a number of reasons, including the on-going efforts to introduce market rate housing to the downtown at some point, does not appear to be appropriate for this site. We do see the possibility and the merits, however, of a mixed –income Artists Housing Project for the school site since it could help introduce much desired arts and culture into the downtown.

Market Rate Housing

Without the means of creating a new market (as being attempted by Downtown Renaissance), any housing developer of the school would be constrained by the generally low prevailing market rate rents in Bristol which would preclude the ability to achieve substantially higher upscale rents relative to the market needed to meet the major renovation costs of the school. Even Huntington Woods, the last constructed open-age rental development in Bristol (1991), was financed with low income tax credits which established 40% of the units as affordable. For reasons that are plain based on above market review, a similar scenario involving mixed-income tenant base would likely be required for any reconversion of the school for housing at this time.

Artists Housing

One popular approach to mixed income housing within a downtown area, and one that is designed to help invigorate the area, involves development of *Artists Housing* calling for creation of live-work space for visual artists, writers, musicians, cinematographers. One of the major advantages of an Artists Housing project is the capacity to pull well beyond the normal trade area. In Bridgeport, where a former Department Store was adapted to artists housing inquiry of interest from artists came as far north as Rhode Island and as far south as New Jersey. However, by and large these projects need public funding to meet the rent capacity of their target market, which historically have fallen into the low to moderate income base. In this case, the subsidy would merely allow a developer to write down the rents to a level close to what presently exists as market rents in the Bristol marketplace today.

Medical Office Space Opportunity

Market Considerations

- Medical Office Building (MOB) Market has been growing steadily since the mid 1990s though still a very minor part of the overall office market. As a submarket

² Of course once Downtown Renaissance begins to see proven private market investment in the downtown including more upscale housing, the market environment would improve dramatically for the school site.

of the office market it has also been more resilient to the recession, presently showing a vacancy rate of 5% in the Hartford metro area compared to 15% to 20% for office.

- The supply of Medical Office buildings in Bristol appears very small based on review of property listings within the city.
- Market factors to consider when evaluating potential for Medical office space (or Medical Office Building – MOB) is accessibility and concentration of physicians in or near site. Proximity or linkage to a hospital is often a key issue. Due to its location on Route 6 and presence of Bristol Hospital nearby the Bingham site would be considered positive in both respects.
- Population growth is also a factor when considering location. In this regard, Bristol is not considered a strong location with population projections for Bristol showing relative flat growth over the next five years similar to the county and the state.
- Bristol's high concentration of seniors and elderly (higher % than county or the state) is considered a positive with the need for medical care is magnified. Builders and developers typically seek out areas for MOB's where geriatric population is expanding.
- Optimum size for medical office space is between 20,000 to 30,000 square feet which falls within the net useable space identified for Bingham School.
- Most MOB's include a variety of health services and providers including blood draw, radiological services, and rehab.
- The passage of the national health care law as well as other health care reforms now being discussed will likely increase demand for preventative based health care services and ultimately demand for MOB space.
- The move towards clustering health care services either around targeted hospitals or within suburban medical centers as found in Glastonbury, West Hartford and Wethersfield, will continue to drive the MOB market.

Issues & Risk Factors

- According to one source, hospitals have dramatically pulled in their horns on development of medical space due to current credit market conditions.
- In order to finance the construction of MOB, considerable pre-leasing is required. Generally 75% is required in today's market with little expectation that this ratio will decline over the next several years even with an improved economy.

- MOBs have higher plumbing and energy needs compared to other offices. Fiber optic access is considered a critical requirement.
- Physicians require more generous fit-up allowances compared to other users. According to one developer its averaging \$40 to \$45/sf.

Assessment of Opportunity – Medical Office Space

Given its location and the potential lack of supply of medical office buildings in Bristol, the Bingham school represents a low to moderate opportunity for reuse as medical space. The major draw-back is that Bristol currently has substantial level of office space on the market – albeit not in dedicated medical buildings, at rents ranging from \$10 to \$15/sf – in some cases even lower. Building costs are also higher for medical buildings versus normal office space, particularly when it comes to plumbing.

Nevertheless, given the paucity of buildings tailored to the medical profession in Bristol combined with its downtown location, we believe there may be a market for well designed medical space tailored to smaller tenant users. However unlike typical end users of newer MOB space that often represent larger group practices, we believe the market base for this site would be more eclectic, inclusive of dentists, chiropractors, therapists and even those promoting alternative natural-based health care, along with general practitioners and medical specialists. It is also assumed that fit-up costs for this group would be considerably lower compared to those found in new MOBs – a factor that may be important when considering the feasibility of adapting this to medical space. Moreover the schools potential for creating 20 to 25 office spaces represents an optimum size for such a facility. Even the inclusion of the gym presents an opportunity to extend the market profile to a broader range of end users that include those needing space for group training or classes (think yoga or stretching exercises for seniors)

Career/Technical School Space Opportunity

Market Considerations

- Outside of healthcare, education has been one of the few bright growth sectors in the US economy in the last five years and represents the second largest industry in the country with 13.3 million jobs.
- Career, vocational and technical education (CTE) and continuing education and training have taken on new urgency with the recent economic downturn. CTE is associated with both secondary (middle and high school) and post secondary schools or training institutes – with the latter conferring a certificate or an associate degree.

- In Bristol, we identified no private post secondary vocational schools within the city. Outside the city in nearby communities, vocational schools were found in Southington, Farmington, Waterbury, New Britain and Meriden.
- Connecticut operates the Technical High School system consisting of 20 schools. There is one technical High School in Bristol: Bristol Technical Education Center. Areas of focus include Auto Technology, Culinary Arts, Electronics, HVAC, Manufacturing Technology, and Welding. It also offers adult education classes.
- While there are no Colleges in Bristol, two community colleges are located in the region: *Naugatuck Valley* in Waterbury and *Tunxis* in Farmington. Both offer a full range of associate degrees and certificate programs. Meanwhile, Tunxis Community College maintains its *Bristol Training Center* in Downtown Bristol within an 8,300 sf storefront location. This center provides resources, information and training associated with vocational programs offered by the college along with meeting workforce training needs identified in the community.
- The nearest accredited four year college to Bristol is Lincoln College of New England (formerly Briarwood College) located in Southington on the Bristol border. The school offers three four year degrees, criminal Justice, Funeral Service, and Health Administration, plus a wide range of career-oriented Associate Degree programs. In addition to the Southington campus, Lincoln has satellite facilities in Hartford and Suffield.
- The *Bristol Adult Education Center* located on Redstone Hill Rd. serves 300 to 400 persons yearly, primarily in association with classes involving their GED and ESL programs. The Center also coordinates an adult enrichment continuing education program focusing on computer training, health & recreation and special interest areas. These programs are offered both in the Center and throughout the city, mostly within select elementary schools.
- Until recently, the US has witnessed a decline in the number of students enrolled in career and technical education as more students opt to enroll in traditional academic schools and colleges. Recent federal initiatives are expected to help boost enrolment in technical colleges and career technical centers as way of building a pipeline of qualified workers to US industries.
- On-line education has become mainstream growing at annual rate of 20% a year with most post secondary schools and training centers providing some form of on-line enrollment. On Wall Street, the fastest growing education and training companies are all or principally on-line businesses. This emergence of on-line education has made it less necessary for bricks and mortar facilities for supporting post secondary education or training. Studies show that while the exponential growth of on-line education over the past five years may slow it will continue to play an important role in education as students and adults look for flexibility in when and where they obtain new training or education.

Strengths & Opportunities of Technical School Opportunity

- Educators and government agencies are collaborating to improve the image and marketability of career and technical training once thought of as domain of “dropouts”. The recent recession has also elevated the profile of these facilities.
- The Subject Site offers a good location for accommodating a training school with proximity to public transportation and downtown services. Depending on programs offered, training could also support employment needs of nearby companies, public agencies and health care facilities in the downtown area.
- Federal legislators recently passed a budget for expanding the funding pool for Pell Grants, a tuition assistance program that targets low to moderate income students. This group is a prime source of students who enroll at private career centers and technical schools.

Issues and Risk Factors

- Although career and technical training spans a wide age range nearly 50% of people taking formal work-related courses are between 25 and 44. According to the census, this age group is expected to be the slowest growing of all age groups over the next ten years.
- While there has been a recent infusion of training dollars, it is unclear if any of these dollars can translate into bricks and mortar construction, unless a specialized training facility is needed. Moreover, once this initial burst of funding is received, CTEs will have to rely once again on what they consider moderate federal funding for training programs.
- A recent federal initiative calling for \$12 billion to be spent on community colleges and technical schools as a means of accelerating the work training process (American Graduation Initiative) was cut from the 2010 omnibus house bill for student aid and fiscal responsibility (SAFRA). Funding amounting to \$1.3 billion will continue to be disbursed to states, community colleges and CTE programs get now annually. It is expected that most of this will go to Workplace organizations and existing Technical schools for disbursement. However some funding might be available for retrofitting space for specialized training.

Assessment of Opportunity – Private Career-Technical Schools

Demographically, Bristol presents an ideal profile for many private career centers or technical schools (Lincoln Technical, Branford Hall, Porter Chester Institute, Stone Academy, to name a few). Assuming rehab costs are manageable, this would represent a strong re-use option for the school either as an owner-operator or as a prime tenant. In Bristol 59% of the 2010 population 25 years and older reported having a high school degree or some college (but no degree) compared to 46% for the state. Meanwhile, only

27% in Bristol has an Associate degree or better, while the state reported a 42.6% share. Not surprising given the education numbers, 40% of households in Bristol earn less than \$50,000, a level considered moderate, and 15% have incomes of under \$25,000.

Similarly, Bingham's location on Route 6, near a bus stop and close to the downtown fits the prime criteria many such schools look for in a location. Moreover, the fact that the Bingham facility was once used as a school fits nicely into the programmatic uses that would be required of a technical school. The inclusion of the gym could represent both an amenity and additional programmatic space.

The one caveat for this option is that while there appears to be an effort to increase the stream of federal funding for technical training, it is not clear that any of this translates into brick and mortar dollars (outside improvements to secondary technical training high schools). Thus the likely scenario would be for a developer/investor to incur the costs of upgrade with a firm commitment in hand from the technical school. The one other red flag is that studies are showing enrollment in career and technical training schools are running flat, although in recent years enrollment in Community Colleges have seen an increase. A threat to both however is the rapid growth in use of on-line education which has become more mainstream and has no brick and mortar requirement.

One other scenario that could result in maintaining an education component within the school would be to seek an end user similar to Lincoln College of New England that may be interested in establishing a satellite facility. It is assumed that Tunxis would not be candidate given their recent investment involving the storefront space in the downtown for its satellite center 11 years ago. However career-oriented schools such as Post University in Waterbury, Rensselaer at Hartford and Goodwin College in East Hartford might be approachable.

Art/Antiques/Home Furnishing Center

Market Considerations

- A number of downtowns have been havens for antique stores which collectively function as a strong driver of traffic to the area. Examples in the state include downtown Seymour, downtown Manchester and downtown Putnam.
- In Bristol there are only a handful of antique shops and dealers and none located in the downtown area.
- The arts and antique market along with home furnishings have all been hard hit by the recession and its lack luster recovery. Home furnishings is likely to recover once economy fully rebounds. However, bricks and mortar antique stores and galleries are being impacted by on-line sales. Discussions with dealers, however, confirm that this is still a "look and feel" market with visits to stores conducted as much for entertainment as for any mission to purchase.

- While few retail uses could be envisioned for Bingham, a building that offered numerous antique, art and home furnishing stores could create the critical mass necessary to generate the level of foot traffic necessary to support sales. Antique stores in particular work better when clustered; the school presents an opportunity to do this all under one roof.
- Potential expansion of the concept could entail viewing of on-site art preparation (pottery for example) and classes in appraisal of antiques, refinishing old furniture, pottery making, painting, photography ect.
- One large caveat - Given the market environment (both of commercial space and for intended end users) the rent basis for each space would most likely have to fall within \$10 to \$12/sf . These rents may make it difficult to underwrite both the acquisition cost and the necessary improvements to the building.
- The auditorium could also be rented out to performance groups, musicians, speakers, ect presenting another source of income.

Summary of Re-Use Opportunity for Bingham School

Below is matrix detailing strength of opportunity and community impact for each option evaluated:

Reuse Options	Market Strength	Locational Strength	Community Impact	Overall Assessment
Senior Rental Housing - Affordable	High	High	Positive	Strong Option but will need public financial support
Market Rate Rental Housing	Low	Moderate	Positive	Existence of new market rate housing near downtown would be positive but more work is needed in downtown to bring this about – not a likely option at this time
Artists Housing	Moderate-High	High– though arts tenant base will need to be drawn wide area.	Positive	Artists housing is often looked as an option in areas in need of jump-start to downtown revitalization efforts. It's best undertaken by groups familiar with such housing and the type of marketing needed meet lease-up. Offers benefit of a commercial element. Needs subsidy to work. Considered a moderate re-use opt.
Medical Office Building	Low-Moderate	Moderate	Positive	As a submarket of the office market, Medical Office Buildings is the strong sector. However, the positives linked with location and possible connection with Bristol Hospital might be enough to tip this towards MOB use. Opportunity viewed as low to moderate.
Vocational –Technical School	Low-Moderate	High	Positive	This might represent a multi-tenant opportunity in which a technical school is the prime tenant. The presence of classrooms in the school makes consideration of this use an obvious candidate. The in-roads into this sector by on-line education is a red flag. On the whole, however, this is viewed as a moderate opportunity.
Art-Antiques Center	Low-Moderate	Moderate	Positive	A concept for an art-antique center that can also offer classes is more about vision than market. Typically this kind of use functions best surrounded by similar uses which can be accomplished in a single building. Other advantages include its downtown peripheral location and frontage on Route 6 (easy access). Parking should be easy as well. The one caveat is that this market has been hard hit by the recession and online trading. Thus tenant costs will need to be very reasonable in order to attract and maintain a core tenant base. However, this may make it difficult to underwrite building cost and improvements.