

A TEMPORARY FIT OUT FOR
BRISTOL CITY HALL
131 NORTH MAIN STREET BRISTOL, CT

ISSUED FOR BID:
OCTOBER 25, 2021

PROJECT TEAM:

VANZELM
ENGINEERS

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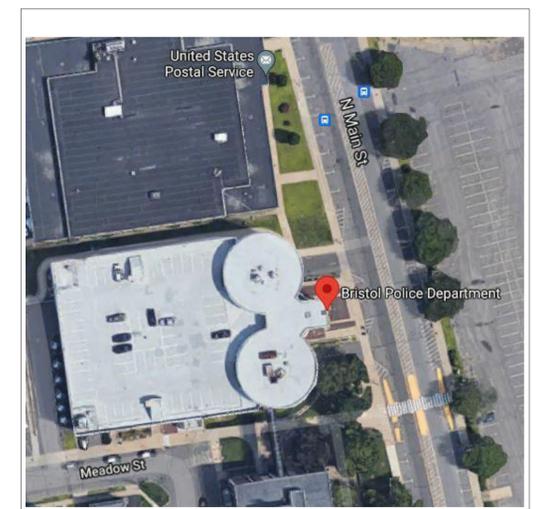
QA+M
architecture
QuisenberryArcariMalik

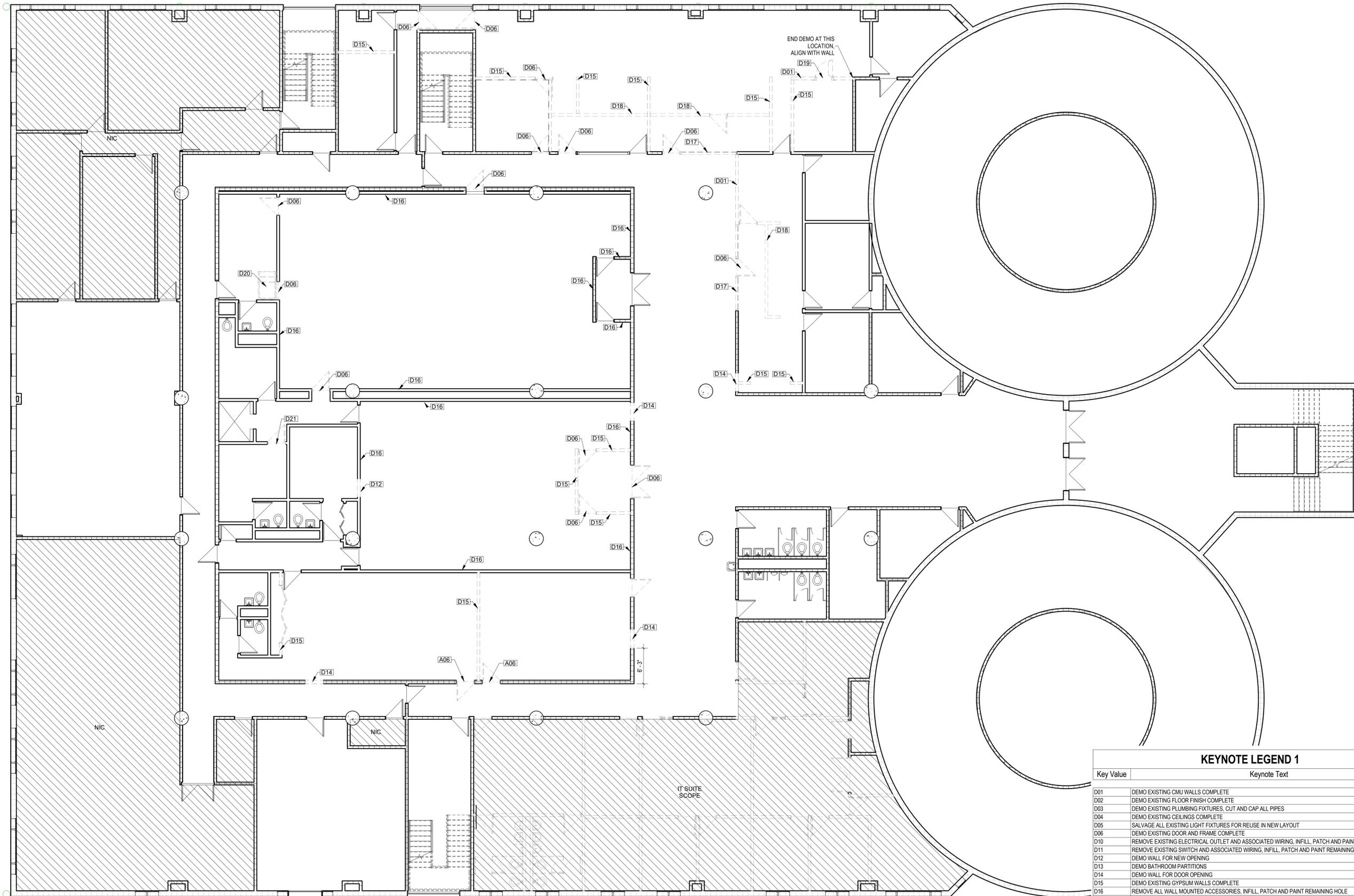
195 Scott Swamp Road
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PROJECT NORTH: 

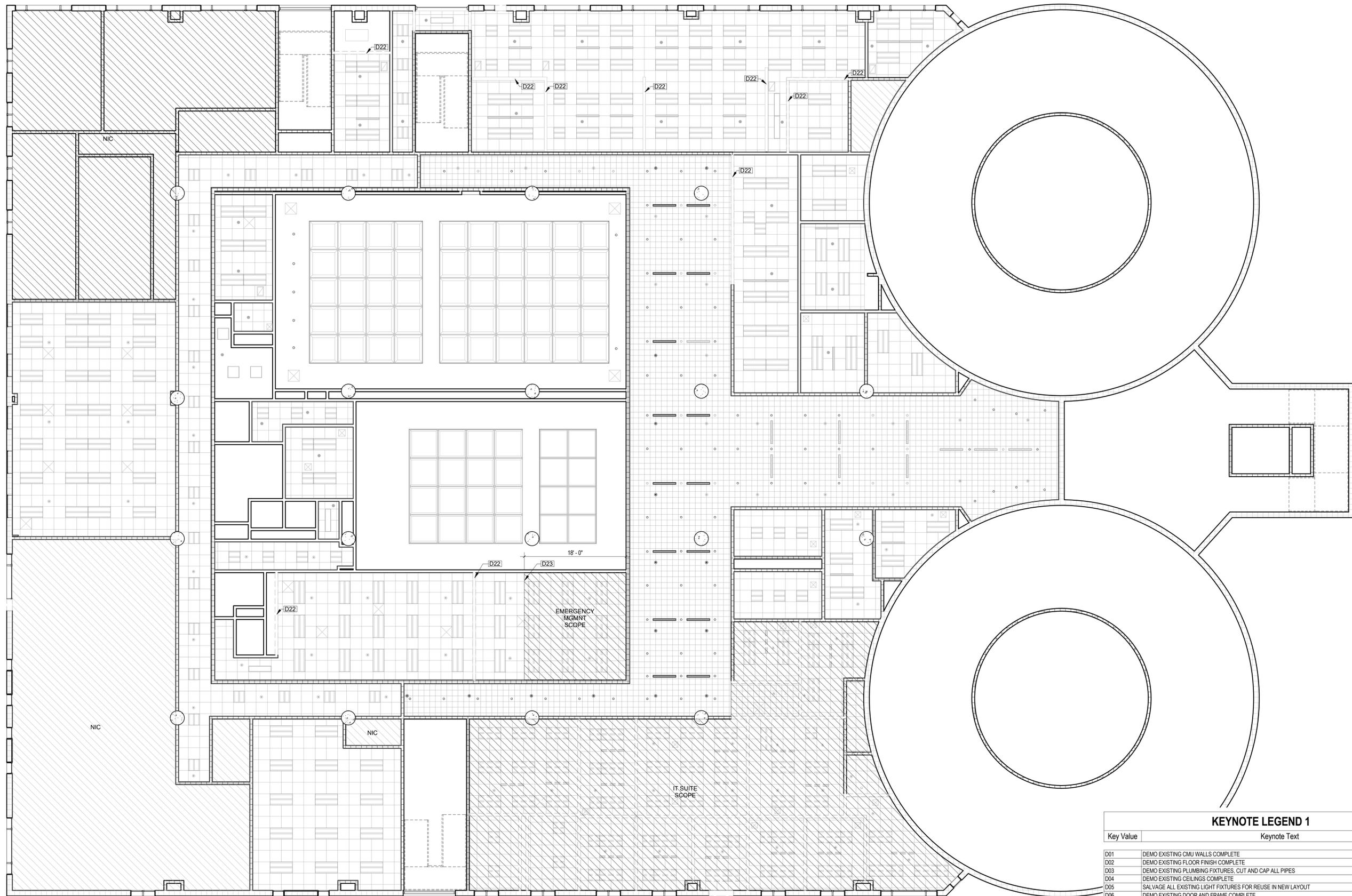
LOCATION MAP:





1 LEVEL 2 DEMO PLAN - TEMP SPACE
DT1.0 1/8" = 1'-0"

KEYNOTE LEGEND 1	
Key Value	Keynote Text
D01	DEMO EXISTING CMU WALLS COMPLETE
D02	DEMO EXISTING FLOOR FINISH COMPLETE
D03	DEMO EXISTING PLUMBING FIXTURES, CUT AND CAP ALL PIPES
D04	DEMO EXISTING CEILINGS COMPLETE
D05	SALVAGE ALL EXISTING LIGHT FIXTURES FOR REUSE IN NEW LAYOUT
D06	DEMO EXISTING DOOR AND FRAME COMPLETE
D10	REMOVE EXISTING ELECTRICAL OUTLET AND ASSOCIATED WIRING, INFILL, PATCH AND PAINT REMAINING HOLE
D11	REMOVE EXISTING SWITCH AND ASSOCIATED WIRING, INFILL, PATCH AND PAINT REMAINING HOLE
D12	DEMO WALL FOR NEW OPENING
D13	DEMO BATHROOM PARTITIONS
D14	DEMO WALL FOR DOOR OPENING
D15	DEMO EXISTING GYPSUM WALLS COMPLETE
D16	REMOVE ALL WALL MOUNTED ACCESSORIES, INFILL, PATCH AND PAINT REMAINING HOLE
D17	DEMO EXISTING STOREFRONT COMPLETE
D18	DEMO EXISTING RECEPTION COUNTER AND DOOR COMPLETE
D19	DEMO EXISTING VAULT DOOR
D20	DEMO EXISTING STAIR COMPLETE
D21	DEMO EXISTING METAL DOOR
D22	REMOVE WALL BELOW CEILING, FRAMING ABOVE CEILING TO REMAIN
D23	REMOVE EXISTING CEILING GRID TO EXTENT SHOWN



1 LEVEL 2 RCP DEMO PLAN - TEMP SPACE
DT2.0 1/8" = 1'-0"

KEYNOTE LEGEND 1	
Key Value	Keynote Text
D01	DEMO EXISTING CMU WALLS COMPLETE
D02	DEMO EXISTING FLOOR FINISH COMPLETE
D03	DEMO EXISTING PLUMBING FIXTURES, CUT AND CAP ALL PIPES
D04	DEMO EXISTING CEILINGS COMPLETE
D05	SALVAGE ALL EXISTING LIGHT FIXTURES FOR REUSE IN NEW LAYOUT
D06	DEMO EXISTING DOOR AND FRAME COMPLETE
D10	REMOVE EXISTING ELECTRICAL OUTLET AND ASSOCIATED WIRING, INFILL, PATCH AND PAINT REMAINING HOLE
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D15	DEMO EXISTING GYPSUM WALLS COMPLETE
D16	REMOVE ALL WALL MOUNTED ACCESSORIES, INFILL, PATCH AND PAINT REMAINING HOLE
D17	DEMO EXISTING STOREFRONT COMPLETE
D18	DEMO EXISTING RECEPTION COUNTER AND DOOR COMPLETE
D19	DEMO EXISTING VAULT DOOR
D20	DEMO EXISTING STAIR COMPLETE
D21	DEMO EXISTING METAL DOOR
D22	REMOVE WALL BELOW CEILING, FRAMING ABOVE CEILING TO REMAIN
D23	REMOVE EXISTING CEILING GRID TO EXTENT SHOWN

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RENOVATIONS FOR:

Bristol
CONNECTICUT
All Heart

BRISTOL, CT
111 NORTH MAIN ST

Issues:

Date: ISSUED FOR BID:
OCTOBER 25, 2021

Scale: 1/8" = 1'-0"

Project No. 2K21.004

Drawn by: Author

DT2.0
LEVEL 2 DEMO PLAN
RCP - TEMP SPACE

ABBREVIATIONS			
AB	Anchor Bolt	FURR	Furred, Furring
AC	Air Conditioning	GA	Gauge
AC	Acoustic, Acoustical	GALV	Galvanized
ACT	Acoustical Tile	GB	Gypsum Board
ADJ	Adjacent	GC	General Contractor
AFF	Above Finish Floor	HB	Hose Bibb
AFG	Above Finish Grade	HC	Handicapped
AHU	Air Handling Unit	HGT	Height
ALF	Aluminum Frame	HM	Hollow Metal
ALT	Alternate	HORIZ	Horizontal
ALUM	Aluminum	ID	Inside Diameter
ANCH	Anchor, Anchorage	IN	Inch
ANOD	Anodized	INCL	Included
APBO	As Provided By Owner	INFO	Information
APPR	Approved	INSUL	Insulation
ARCH	Architect, Architectural	INT	Interior
ASB	Asbestos	JT	Joint
ASBO	As Selected By Owner	KP	Kick Plate
ASPH	Asphalt	L	Angle
ASST	Assistant	LAB	Laboratory
ASSY	Assembly	LAV	Lavatory
ATC	Acoustic Tile Ceiling	LH	Left Hand
AUTO	Automatic	LTG	Lighting
BD	Board	MACH	Machine
BEJ	Brick Expansion Joint	MAINT	Maintenance
BEV	Bevel, Beveled	MAS	Masonry
BLD	Building	MAT	Material
BLK	Block	MAX	Maximum
BLKG	Blocking	MB	Marker Board
BM	Beam	MECH	Mechanical
BO	Bottom Of	MEZZ	Mezzanine
BOT	Bottom	MFRG	Manufacturer
BRG	Bearing / Bridging	MIN	Minimum
BUR	Built Up Roofing	MISC	Miscellaneous
CAB	Cabinet	MO	Masonry Opening
CAP	Capacity	N	North
CASE	Casement	NIC	Not In Contract
CB	Chalk Board	NTS	Not To Scale
CEM	Cement	OC	On Center
CJ	Control Joint	OD	Outside Diameter
CL	Centerline	OFF	Office
CL	Ceiling	OH	Overhead
CLGHT	Ceiling Height	PASS	Passage
CLO	Closet	PCEJ	Precast Expansion Joint
COL	Column	PERP	Perpendicular
CMC	Concrete	PL	Plate
CONF	Conference	PLAM	Plastic Laminate
CONT	Continuous	PLAS	Plaster
CONTR	Contractor	PLUMB	Plumbing
CORR	Corridor	PLYWD	Plywood
CRS	Course, Courses	PR	Pair
CT	Ceramic Tile	PREFAB	Prefabricated
CJH	Center	PTD	Painted
CUR	Cabinet Unit Heater	PTD	Paper Towel Dispenser
DBL	Double	PVC	Polyvinylchloride
DEG	Degree	QT	Quarry Tile
DEMO	Demolition	QTY	Quantity
DEPT	Department	QUAL	Quality
DET	Detail	R	Riser
DF	Drinking Fountain	RAD	Radius
DH	Double Hung	RD	Roof Drain
DIA	Diameter	RECV	Receiving / Receiver
DIM	Dimension	REF	Reference
DIST	Distance	REFR	Refrigerator
DN	Down	REINF	Reinforce
DR	Door	REM	Remove
DS	Downspout	REQD	Required
DWG	Drawing	REV	Revised, Revision
EAF	Each	RH	Robe Hook / Right Hand
EIFS	Exterior Insulation Finish System	RM	Room
EJ	Expansion Joint	RWC	Rain Water Conductor
EL	Elevation	SC	Scupper
ELEC	Electric, Electrical	SCHED	Schedule
ELEV	Elevator	SD	Soap Dispenser
EMERG	Emergency	SECT	Section
EQ	Equal	SF	Square Foot
EQUIP	Equipment	SHT	Sheet
ETR	Existing To Remain	SIM	Similar
ELH	Electric Unit Heater	SJ	Seismic Joint
EWC	Electric Water Cooler	SND	Sanitary Napkin Dispenser / Disposal
EXIST	Existing	SNR	Sanitary Napkin Receptacle
EXP	Expansion	SPEC	Specifications
EXT	Exterior	SQ	Square
FD	Floor Drain	SS	Stainless Steel
FDN	Foundation	SSTL	Structural Steel
FE	Fire Extinguisher	ST	Sound Transmission
FF	Finished Floor	STC	Sound Transmission Coefficient
FFE	Finished Floor Elevation	STD	Standard
FIN	Finish, Finished	STL	Steel
FIXT	Fixture	STOR	Storage
FLASH	Flashing	STRUCT	Structure, Structural
FLR	Floor	SUSP	Suspend, Suspension
FLRFIN	Floor Finish	T	Tread
FPRFG	Fireproofing	TB	Tack Board
FR	Fire Retardant	TG	Tongue and Groove
FRGP	Fiber Reinforced Gypsum Panel	THRU	Through
FT	Feel, Foot	TME	To Match Existing
FTG	Footing	TO	Top Of
FURN	Furnish, Furnishings, Furniture	TPD	Toilet Paper Dispenser
		TYP	Typical
		UH	Unit Heater
		UL	Underwriter's Laboratory
		UON	Unless Otherwise Noted
		UV	Unit Ventilator
		VCT	Vinyl Composition Tile
		VEST	Vestibule
		W	With
		WBO	White Board
		WD	Wood
		WP	Waterproofing
		WWF	Welded Wire Fabric

GENERAL NOTES

- GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY INCONSISTENCIES IN THE DRAWINGS, EXISTING CONDITIONS OR THE PROPOSED CONSTRUCTION IMMEDIATELY.
- GENERAL CONTRACTOR TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL BE HELD RESPONSIBLE FOR THE SAME.
- ALL NOTES AND DIMENSIONS DESIGNATED AS "TYP." OR "TYPICAL" APPLY TO ALL SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
- THESE PLANS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES. DIMENSION LINES AND NOTES SUPERSEDE ALL SCALED REFERENCES.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF STUD AND CENTERLINE OF STRUCTURAL STEEL COLUMNS UNLESS OTHERWISE NOTED.
- ROOFING CONTRACTOR TO VERIFY QUANTITY AND LOCATION OF ROOF PENETRATIONS, AND TO FLASH ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- THE REQUIREMENTS FOR SEISMIC LOADS HAVE BEEN INCORPORATED INTO THE DESIGN OF THE STRUCTURAL, MECHANICAL, AND SUSPENDED CEILING SYSTEMS AS REQUIRED FOR THE NEW CONSTRUCTION.
- SIGNAGE SHALL BE PLACED ON THE WALL ADJACENT TO THE LEVEL SIDE OF A ROOM DOOR AT A HEIGHT OF 5' A.F.F.
- PROVIDE AN ALUMINUM DIVIDER STRIP AT ALL DOOR THRESHOLDS WHERE TWO DIFFERENT FINISHES MEET UNLESS OTHERWISE NOTED.

CONCRETE MASONRY NOTES

- ALL MASONRY SHALL CONFORM TO AND BE ERECTED IN ACCORDANCE WITH ACI 530 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND ACI 530.1 SPECIFICATION FOR MASONRY STRUCTURES.
- ALL MASONRY WALLS ARE TO BE CONSTRUCTED OF CONCRETE MASONRY WITH COMPRESSIVE STRENGTH FM = 1500 P.S.I. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING MASONRY STRENGTH AS SPECIFIED.
- TYPE "M" OR "S" MORTAR SHALL BE USED IN ALL MASONRY.
- CONTINUOUS HORIZONTAL JOINT REINFORCING SHALL BE INSTALLED IN ALTERNATE COURSES OF ALL MASONRY. EXTERIOR MASONRY VENEER SHALL BE TIED TO INTERIOR MASONRY BLOCKWORK IN ACCORDANCE WITH DRAWING NOTATIONS.
- REINFORCING STEEL FOR MASONRY SHALL BE GRADE 60. ALL LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS (I.E. #4 BAR = 24").
- ALL MASONRY UNIT CORES CONTAINING REINFORCING BARS SHALL BE FILLED WITH 2000 P.S.I. GROUT. GROUT SHALL BE INSTALLED IN USING LOW LIFT GROUT METHOD (5'-0" MAXIMUM LIFTS).

DEMOLITION NOTES

- REMOVE ALL MATERIALS, ASSEMBLIES AND CONSTRUCTED ELEMENTS AS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION.
- PROTECT ALL EXISTING FINISHES AND SPACES NOT AFFECTED BY THE CONSTRUCTION OR DIRECTLY ADJACENT TO THE CONSTRUCTION. ALL EXISTING FINISHES AFFECTED BY THE DEMOLITION WORK ARE TO BE RETURNED TO A STATE OF FINISH EQUIVALENT TO THAT PRIOR TO COMMENCEMENT OF THE WORK.
- PROVIDE DUST-PROOF PARTITIONS SEPARATING THE DEMOLITION AND WORK AREAS FROM AREAS UNAFFECTED BY THE CONSTRUCTION.
- CLEAN ALL AREAS OF THE PROJECT PERIODICALLY TO MAINTAIN A SAFE AND CLEAR WORKING ENVIRONMENT. PROVIDE FINAL CLEANING OF THE ENTIRE PROJECT SITE AT THE COMPLETION OF THE PROJECT WORK.
- PROVIDE TEMPORARY SHORING OR BRACING AS REQUIRED TO PROPERLY COMPLETE THE WORK. COORDINATE SHORING WITH ALL SUB-CONTRACTORS, AND NOTIFY THE ARCHITECT OF ANY PROBLEMS OR CONCERNS IMMEDIATELY.
- ENSURE THAT EXISTING MECHANICAL AND ELECTRICAL SYSTEMS CONTINUE TO FUNCTION AS PRACTICAL THROUGHOUT THE CONSTRUCTION PROCESS. COORDINATE WITH THE OWNER DIRECTLY ANY TIME PERIODS DURING WHICH ESSENTIAL SERVICES MAY BE NON-FUNCTIONING OR DISCONNECTED.
- REMOVE EXISTING ROOF AND SIDING AS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. ERECT TEMPORARY BARRIERS OR PROTECTIONS AS NECESSARY TO PROTECT THE EXISTING BUILDING FROM THE ELEMENTS DURING THE CONSTRUCTION PROCESS.

WALL NOTES

- FIRECODE GYPSUM BOARD IN A ONE OR TWO HOUR RATED PARTITION MUST BEAR THE U.L. CLASSIFICATION.
- ALL FIRE AND SMOKE RESISTANT SEPARATIONS ARE TO EXTEND OR BE EXTENDED TO THE UNDERSIDE OF FLOOR OR ROOF DECK ABOVE, TYPICAL.
- FOR SMOKE RESISTANT SEPARATIONS, PROVIDE FIRE SAFING AND SEALANT AT FLOOR, ROOF DECK AND ALL PENETRATIONS TO PREVENT THE PASSAGE OF SMOKE.
- FOR ALL FIRE RATED PARTITIONS, PROVIDE FIRE SAFING AND SEALANT AT FLOOR, ROOF DECK AND ALL PENETRATIONS TO PREVENT THE PASSAGE OF SMOKE. THE FIRE SAFING AND SEALANT SYSTEM MUST MAINTAIN THE RATING OF THE SEPARATION.
- AT ALL NON-RATED PARTITIONS, FILL ALL VOIDS INCLUDING METAL DECK FLUTES WHERE PARTITIONS MEET THE STRUCTURE ABOVE WITH BATT INSULATION.
- AT ALL NON-RATED PARTITIONS, FILL ALL VOIDS BETWEEN PIPES, ELECTRICAL CONDUITS, DUCTWORK, ETC. WHERE THEY PENETRATE WALLS, WITH BATT INSULATION.
- PROVIDE SMOKE DAMPERS AT ALL MECHANICAL PENETRATIONS THROUGH ONE HOUR RATED SMOKE BARRIERS.
- PROVIDE FIRE DAMPERS AT ALL MECHANICAL PENETRATIONS THROUGH TWO HOUR FIRE RATED PARTITIONS.
- EXTEND ALL METAL STUD PARTITIONS TO THE UNDERSIDE OF DECK/STRUCTURE, UNLESS OTHERWISE NOTED.
- AT ALL NON-RATED PARTITIONS AND PARTITIONS WITH NO S.T.C. REQUIREMENTS, EXTEND SHEATHING TO THE FINISHED CEILING CONSTRUCTION, TYPICAL.
- SEE WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.
- METAL STUD CONTRACTOR TO PROVIDE AND COORDINATE PLACEMENT OF METAL STUD SLIP TRAC KS AT ALL STUD WALLS BUILT ON TOP OR UNDER STRUCTURAL STEEL BRACING FRAMES, TYPICAL. SIMILAR CONDITION APPLIES WHERE METAL STUDS ATTACH TO THE UNDERSIDE OF ROOF DECK AT THE MIDDLE 1/3RD OF A SPAN GREATER THAN 15'.

MECHANICAL NOTES

- MECHANICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK. NOTIFY THE ARCHITECT OF ANY CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER INSTALLATION OF THE NEW SYSTEMS.
- MECHANICAL CONTRACTOR SHALL DESIGN, PURCHASE AND INSTALL ALL NEW COMPONENTS AS REQUIRED TO PROPERLY CONDITION THE SPACE(S) AFFECTED BY THIS CONSTRUCTION PROJECT. IF THE MODIFICATION OF EXISTING SYSTEMS IS NECESSARY, SUCH MODIFICATIONS SHALL NOT ADVERSELY AFFECT THE OPERATION OF THESE SYSTEMS OR COMPONENTS.
- COORDINATE MECHANICAL WORK WITH THE WORK OF OTHER TRADES. DO NOT ALTER THE WORK OF PREVIOUS TRADES WITHOUT PRIOR APPROVAL.
- PERFORM ALL NEW MECHANICAL WORK IN ACCORDANCE WITH LOCAL CODES AND ACCEPTED STANDARDS OF PRACTICE.

ELECTRICAL NOTES

- ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- ELECTRICAL CONTRACTOR SHALL DESIGN, PURCHASE AND INSTALL ALL NEW COMPONENTS AS REQUIRED TO PROPERLY SERVICE THE SPACE(S) AFFECTED BY THIS CONSTRUCTION PROJECT. IF THE MODIFICATION OF EXISTING ELECTRICAL SYSTEMS IS NECESSARY, SUCH MODIFICATIONS SHALL NOT ADVERSELY AFFECT THE OPERATION OF THESE SYSTEMS.
- COORDINATE ELECTRICAL WORK WITH THE WORK OF OTHER TRADES. DO NOT ALTER THE WORK OF PREVIOUS TRADES WITHOUT PRIOR APPROVAL.
- PERFORM ALL NEW ELECTRICAL WORK IN ACCORDANCE WITH LOCAL CODES AND ACCEPTED STANDARDS OF PRACTICE.
- COORDINATE THE FINAL LOCATION OF ALL ELECTRICAL DEVICES AND THEIR INTENDED OPERATION WITH THE OWNER.

ELECTRICAL MOUNTING HEIGHTS

- ALL DIMENSIONS ARE TO THE CENTER OF THE DEVICE UNLESS OTHERWISE NOTED. SEE ELECTRICAL DRAWINGS FOR TYPES AND LOCATIONS.
- RECEPTACLES: 18" A.F.F. (AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF RECEPTACLE AT 2' ABOVE BACKSPLASH, AT LOCATIONS BELOW CASEWORK, MOUNT AT 24" A.F.F.)
- WIREMOLD: 24" A.F.F. (AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF WIREMOLD AT 2' ABOVE BACKSPLASH)
- EXTERIOR RECEPTACLES: 24" A.F.F. (20" A.F.F.)
- SWITCHES: 48" A.F.F.
- BOILER EMERGENCY SWITCHES: 60" A.F.F.
- DATA / PHONE OUTLETS: 18" A.F.F.
- TV OUTLETS: 18" A.F.F. OR 18" BELOW FINISHED CEILING
- WALL PHONE: 48" A.F.F. TO CENTER OF EARPIECE
- SECURITY KEYPAD: 48" A.F.F.
- MICROPHONE WALL JACK: 18" A.F.F.
- FIRE ALARM PULL STATION: 48" A.F.F.
- FIRE ALARM VISUAL / AUDIO INDICATING UNITS: 6'-8" TO BOTTOM OF UNIT
- AREA OF REFUGE CALL STATION: 48" A.F.F.
- EMERGENCY SHUT-OFF SWITCH / PUSH BUTTON: 48" A.F.F.
- EMERGENCY CALL SWITCH: 36" A.F.F.
- EMERGENCY CALL BELL / LIGHT: +/- 7'-6" A.F.F. - CENTER ABOVE DOOR
- WALL MOUNTED EXIT SIGNS: 7'-6" A.F.F.
- WALL MOUNTED CLOCKS AND SPEAKERS: +/- 7'-6" A.F.F. COORD. WITH BLOCK COURSING AS OCCURS. CONSULT ARCHITECT IF CEILING HEIGHT CONFLICTS.

FINISH NOTES

GYPSUM BOARD

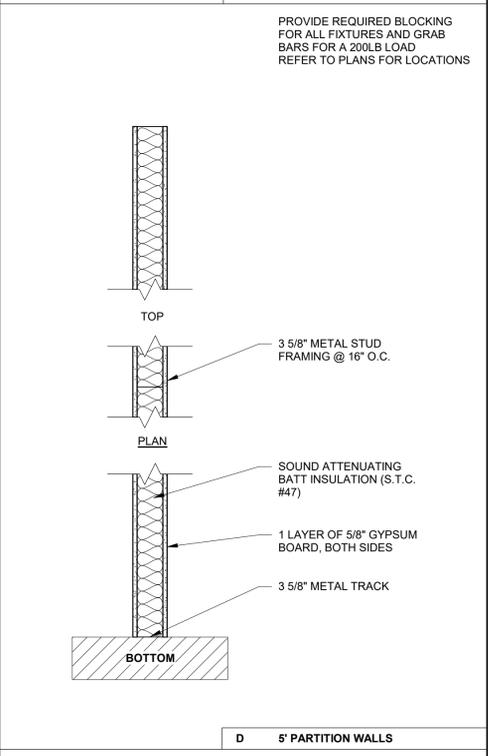
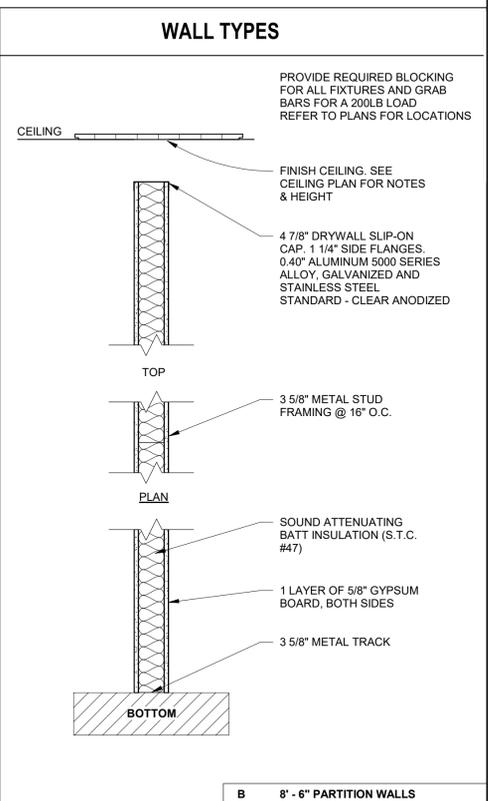
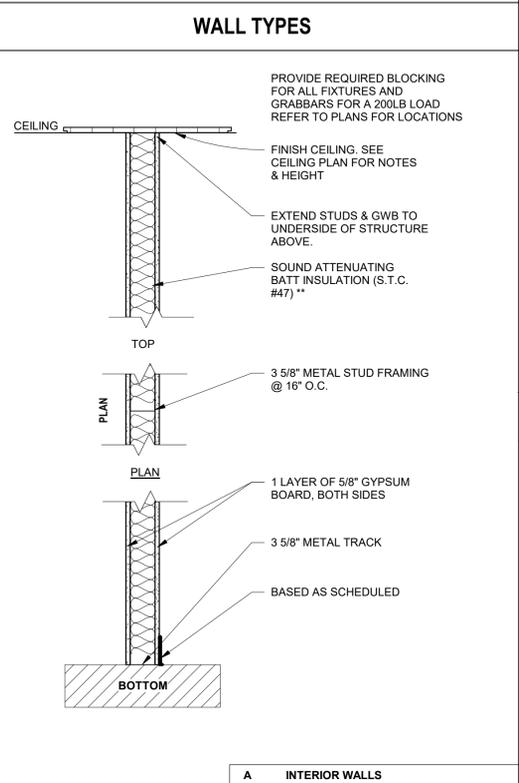
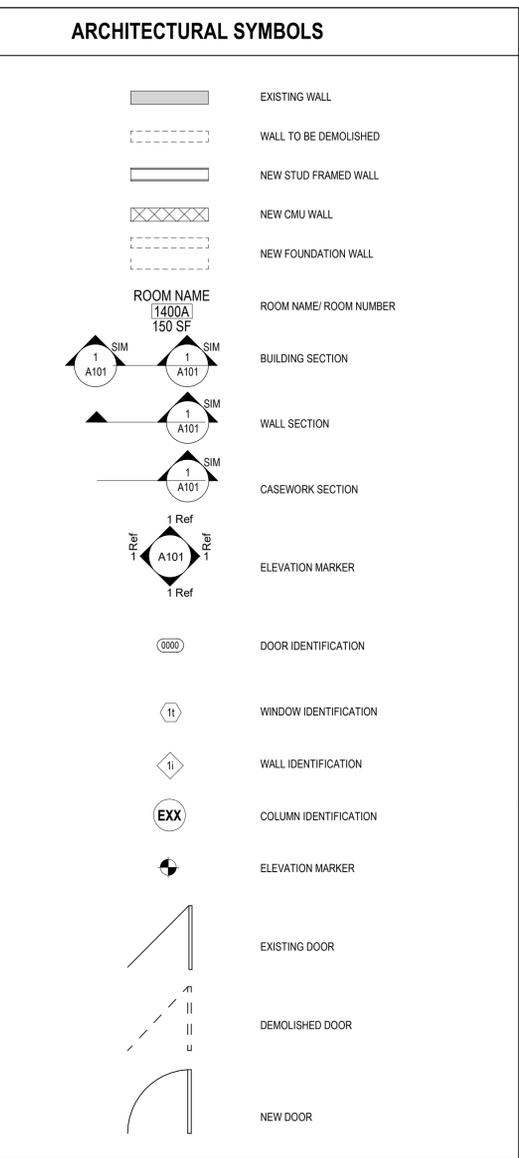
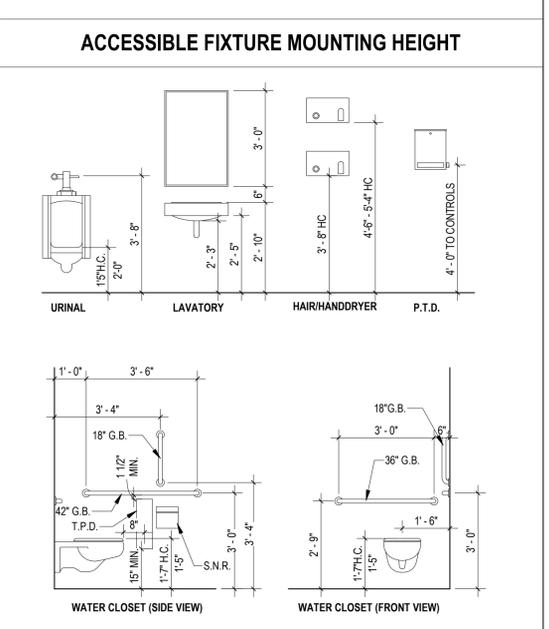
- PROVIDE AND INSTALL GYPSUM WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION; APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.
- PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM WALLBOARD WHERE REQUIRED. PROVIDE TYPE X GYPSUM BOARD AS CALLED FOR ON THE DRAWINGS.
- PROVIDE 5/8" TYPE X GYPSUM BOARD AT ALL WALLS BETWEEN GARAGE AND HOUSE. PROVIDE 5/8" TYPE X GYPSUM BOARD AT GARAGE CEILING WHICH HAS LIVING SPACE ABOVE.

PAINT

- APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS AND WITH PRIOR APPROVAL.

FLOORING MATERIAL

- INSTALL CERAMIC TILE OR NATURAL STONE TILE IN COMPLIANCE WITH PERTINENT RECOMMENDATIONS CONTAINED IN THE TILE COUNCIL OF AMERICA "HANDBOOK FOR CERAMIC TILE INSTALLATION" AND MANUFACTURER'S INSTRUCTIONS.
- PROVIDE MANUFACTURER APPROVED UNDERLAYMENT FOR ALL FLOORING TYPES CALLED OUT IN CONTRACT DOCUMENTS.



SHEET LIST

Sheet Number	Sheet Name
GT1.0	GENERAL INFORMATION
RT1.0	LEVEL 2 CODE PLAN - TEMP SPACE
DT2.0	LEVEL 2 DEMO PLAN RCP - TEMP SPACE
DT1.0	LEVEL 2 DEMO PLAN - TEMP SPACE
AT1.0	LEVEL 2 FLOOR PLAN - TEMP SPACE
AT2.0	LEVEL 2 RCP - TEMP SPACE
AT1.1	LEVEL 2 FLOOR PLAN - ENLARGED TEMP SPACE
AT1.2	LEVEL 2 FLOOR PLAN - ENLARGED TEMP SPACE
AT1.3	LEVEL 2 FLOOR PLAN - ENLARGED TEMP SPACE
AT3.0	DOOR SCHEDULE - TEMP SPACE
AT10.0	LEVEL 2 FINISH PLAN - TEMP SPACE
AT10.1	LEVEL 2 FINISH PLAN - TEMP SPACE
AT10.2	LEVEL 2 FINISH PLAN - TEMP SPACE
AT11.0	LEVEL 2 MILLWORK ELEVATIONS - TEMP SPACE
AT11.1	LEVEL 2 MILLWORK DETAILS - TEMP SPACE
AT12.0	SIGNAGE SKETCHES

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RENOVATIONS FOR:

Bristol
CONNECTICUT
All Heart™

111 NORTH MAIN ST
BRISTOL, CT

Issuances:

Date: ISSUED FOR BID: OCTOBER 25, 2021

Scale: As indicated

Project No. 2K21.004

Drawn by: Author

GT1.0
GENERAL INFORMATION

Plumbing Code Calculations

Refer to IBC Chapter 29 and Table 29-A "Minimum Plumbing Fixtures" for specifics, exceptions, and footnotes.

OCCUPANCY: Business - B Buildings for the transaction of business, professional services, other services involving merchandise, office buildings, banks, light industrial and similar uses	WATER CLOSET		LAVATORIES		BATHTUBS OR SHOWERS	DRINKING FOUNTAINS	OTHER
	MALE	FEMALE	MALE	FEMALE			
	REQUIRED:	4	4	3			

CODES THIS PROJECT WAS DESIGNED TO

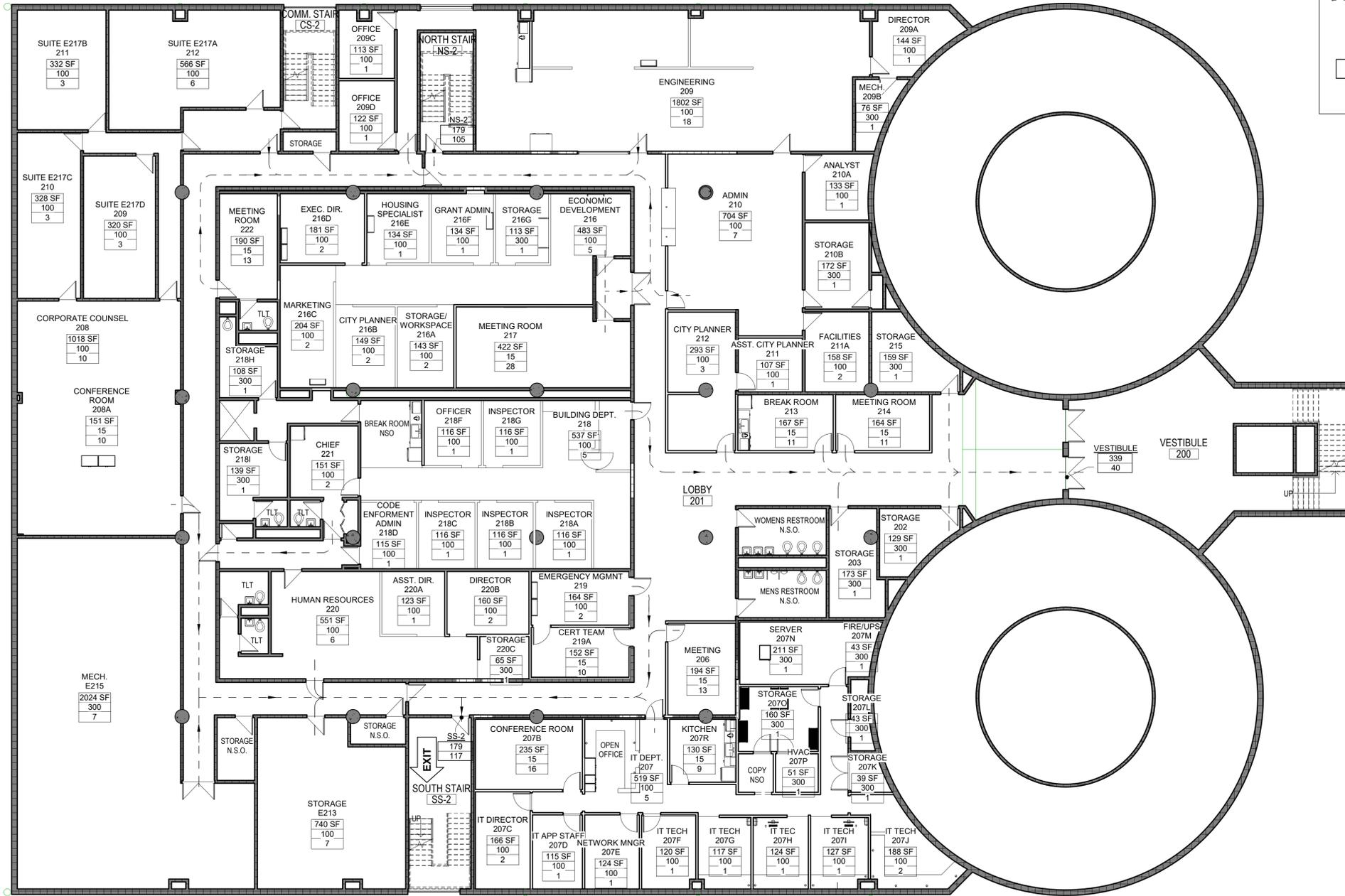
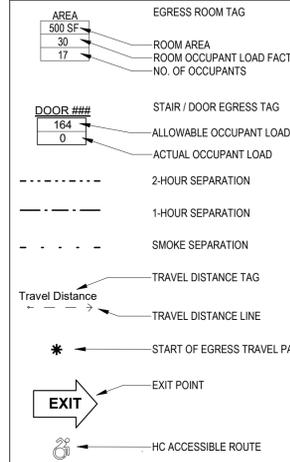
INTERNATIONAL EXISTING BUILDING CODE 2015

BUILDING INFORMATION

TEMP OFFICE FITOUT FOR:
BRISTOL CITY HALL
131 NORTH MAIN STREET, BRISTOL CT

PROPOSED CONSTRUCTION START	2021
1. USE GROUP CLASSIFICATION (301) PRIMARY	BUSINESS (B)
2. CONSTRUCTION TYPE (602) EXISTING	TYPE 2B
3. BUILDING HEIGHT (604) ALLOWABLE HEIGHT [MOST RESTRICTIVE] ACTUAL HEIGHT	STORIES / FEET 3 / 75' 3 / EXISTING
4. BUILDING AREA (506) [Interior face of exterior walls & Open Space Area] USE GROUP (B) EXISTING ACTUAL FLOOR AREA =	VERIFY / ALLOWABLE 32,628 / 69,000 SF 35,877 SF
7. FIRE RESISTANCE RATINGS (601) GENERAL BUILDING CONSTRUCTION STAIR SHAFTS (EXISTING) ELEVATOR SHAFT (EXISTING) EXIT ACCESS CORRIDORS VERTICAL SHAFT (EXISTING) SMOKE PARTITIONS	0 HOUR(S) 1 HOUR(S) 1 HOUR(S) 0 MINS 1 HOUR(S) 0 MINS
8. OCCUPANT LOAD DESIGN LOAD PER ROOM TOTAL BUILDING OCCUPANCY TOTAL EXIT CAPACITY	SEE CODE PLAN 262 PEOPLE 697 PEOPLE
10. HANDICAPPED ACCESSIBLE BUILDING	[X] DESIGNATED [] NON-DESIGNATED
12. FIRE PROTECTION SYSTEMS FIRE SUPPRESSION FIRE DETECTION	[X] FULL [] LIMITED [] NONE [X] FULL [] LIMITED [] NONE
13. NUMBER OF EXITS EXITS REQUIRED EXITS PROVIDED	2 3
14. TRAVEL DISTANCE MAXIMUM TRAVEL DISTANCE ALLOWED	(B) 300'-0"
ACTUAL TRAVEL DISTANCE	SEE CODE PLAN
15. THRESHOLD BUILDING CONDITIONS	[] YES [X] NO

LIFE SAFETY LEGEND:



2 LEVEL 2 CODE PLAN
RT1.0 3/32" = 1'-0"

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RENOVATIONS FOR:
111 NORTH MAIN ST
BRISTOL, CT

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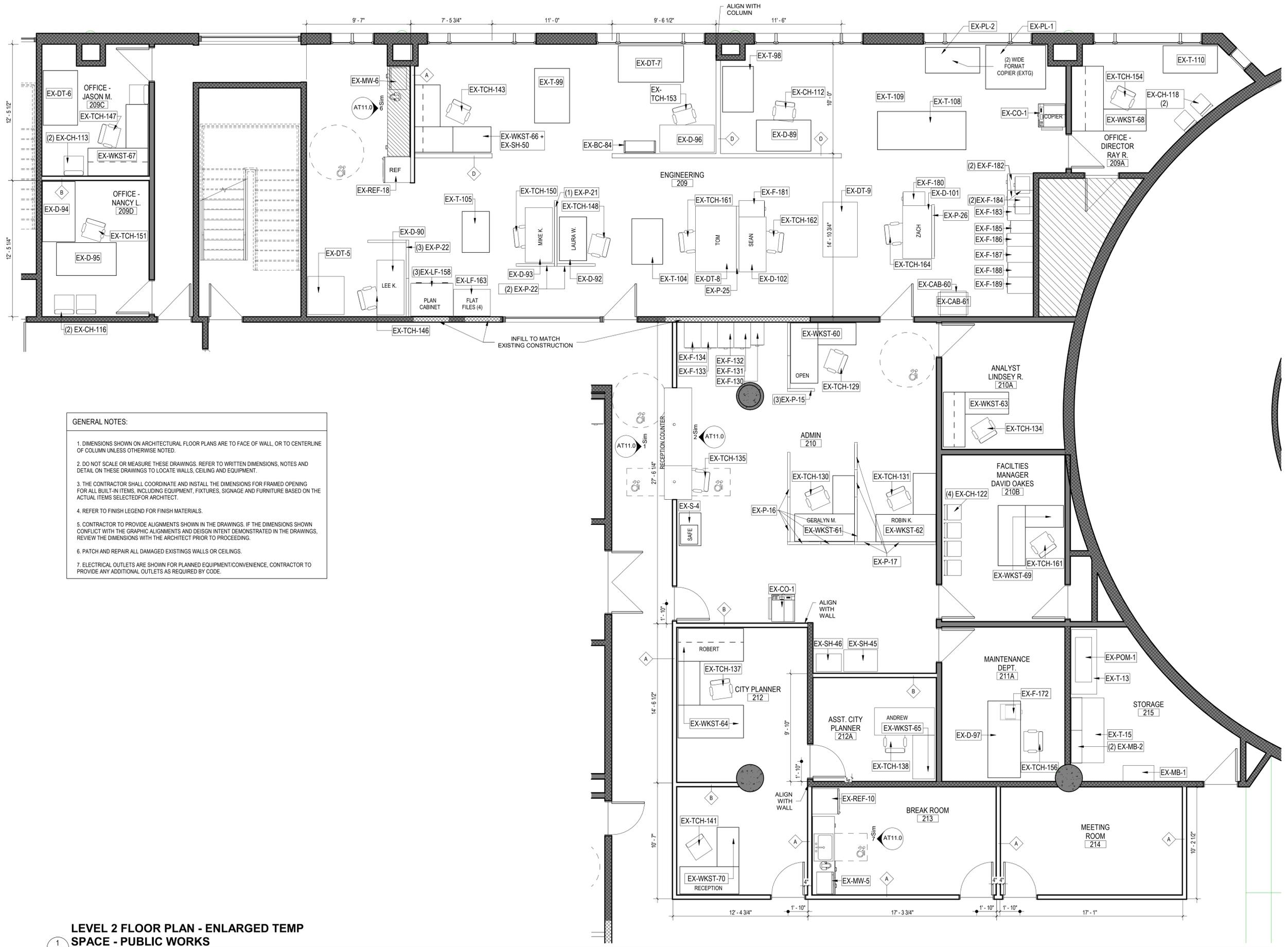
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RT1.0
LEVEL 2 CODE PLAN -
TEMP SPACE



- GENERAL NOTES:**
1. DIMENSIONS SHOWN ON ARCHITECTURAL FLOOR PLANS ARE TO FACE OF WALL, OR TO CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED.
 2. DO NOT SCALE OR MEASURE THESE DRAWINGS. REFER TO WRITTEN DIMENSIONS, NOTES AND DETAIL ON THESE DRAWINGS TO LOCATE WALLS, CEILING AND EQUIPMENT.
 3. THE CONTRACTOR SHALL COORDINATE AND INSTALL THE DIMENSIONS FOR FRAMED OPENING FOR ALL BUILT-IN ITEMS, INCLUDING EQUIPMENT, FIXTURES, SIGNAGE AND FURNITURE BASED ON THE ACTUAL ITEMS SELECTED FOR ARCHITECT.
 4. REFER TO FINISH LEGEND FOR FINISH MATERIALS.
 5. CONTRACTOR TO PROVIDE ALIGNMENTS SHOWN IN THE DRAWINGS. IF THE DIMENSIONS SHOWN CONFLICT WITH THE GRAPHIC ALIGNMENTS AND DESIGN INTENT DEMONSTRATED IN THE DRAWINGS, REVIEW THE DIMENSIONS WITH THE ARCHITECT PRIOR TO PROCEEDING.
 6. PATCH AND REPAIR ALL DAMAGED EXISTINGS WALLS OR CEILINGS.
 7. ELECTRICAL OUTLETS ARE SHOWN FOR PLANNED EQUIPMENT/CONVENIENCE, CONTRACTOR TO PROVIDE ANY ADDITIONAL OUTLETS AS REQUIRED BY CODE.

LEVEL 2 FLOOR PLAN - ENLARGED TEMP SPACE - PUBLIC WORKS
 1/4" = 1'-0"

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RENOVATIONS FOR:

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All Heart
 BRISTOL, CT
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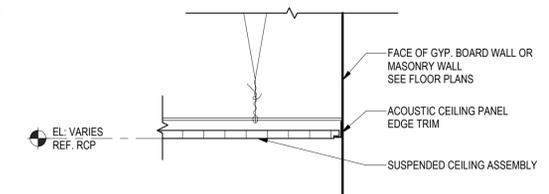
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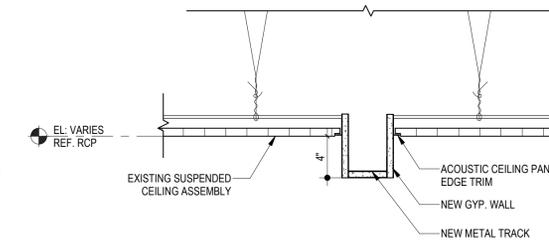
AT1.3
 LEVEL 2 FLOOR PLAN - ENLARGED TEMP SPACE



1 LEVEL 2 RCP PLAN - TEMP SPACE
AT2.0 1/8" = 1'-0"



3 TYP. ACOUSTIC EDGE CONDITIONS 1
AT2.0 1 1/2" = 1'-0"



2 TYP. EXISTING FRAMING CUT BACK @ ACOUSTIC CEILING PANEL
AT2.0 1 1/2" = 1'-0"

GENERAL NOTES:

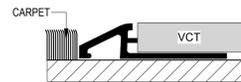
1. NEW MECHANICAL LOCATIONS TO BE COORDINATED WITH MECHANICAL CONTRACTOR. TO INCLUDE BUT NOT LIMITED TO: DUCTWORK, DIFFUSERS, SPRINKLER HEADS, & ACCESSORIES IN ACCORDANCE WITH THE NEW CEILING PLAN.
2. DO NOT SCALE OR MEASURE THESE DRAWINGS. REFER TO WRITTEN DIMENSIONS, NOTES AND DETAIL ON THESE DRAWINGS TO LOCATE WALLS, CEILING AND EQUIPMENT.
3. CONTRACTOR TO PROVIDE ALIGNMENTS SHOWN IN THE DRAWINGS. IF THE DIMENSIONS SHOWN CONFLICT WITH THE GRAPHIC ALIGNMENTS AND DESIGN INTENT DEMONSTRATED IN THE DRAWINGS, REVIEW THE DIMENSIONS WITH THE ARCHITECT PRIOR TO PROCEEDING.

SYMBOL LEGEND:	
	SPOT ELEVATION
	CEILING TYPE. REFER TO SPEC. SECTION 090000 FINISH SCHEDULE
	EXIT SIGN (SINGLE SIDED) (CLG. MTD.)
	EXIT SIGN (MULTI SIDED) (CLG. MTD.)
	EXIT SIGN W/DIRECTIONAL ARROW
	EXIT SIGN (WALL MTD.)
	WALL MOUNTED 2 HEADED EMERGENCY FIXTURE BATTERY LIGHT PACK TO REMOTE HEAD
	2' X 4' SUSPENDED ACOUSTIC TILE CEILING, REFER TO FINISH SCHEDULE
FINISH LEGEND:	
	NEW 2' X 2' RECESSED LED LIGHT FIXTURE. REFER TO ELECTRICAL PLANS FOR LIGHTING TYPE

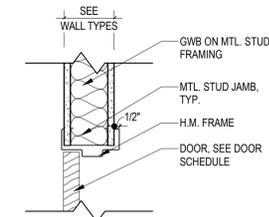
GLAZING TYPE LEGEND (FOR REFERENCE ONLY)		
TYPE	THICKNESS	DESCRIPTION
GL-1	1/4"	TEMPERED GLAZING

DOOR HARDWARE SETS	
NOTE: BELOW HARDWARE SETS TO INDICATE GENERAL SCOPE REQUIREMENTS. G.C. TO COORDINATE FINAL PRODUCT INFORMATION WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION. KEYING FOR LOCKSETS TO BE COORDINATED WITH OWNER.	
SET #01: CORRIDOR SECURE ENTRY	3 HINGES 1 ELECTRIFIED STRIKE/ WITH KEYED LOCK 3 DOOR SILENCERS
*NOTE: FREE EGRESS FROM INTERIOR SIDE OF DOOR AT ALL TIMES.	
SET #02: PASSAGE DOORS	3 HINGES 1 PASSAGE LOCKSET 3 DOOR SILENCERS 1 FLOOR STOP/ WALL BUMPER
SET #03: STOREROOM LOCK	3 HINGES 1 STOREROOM LOCK 3 DOOR SILENCERS

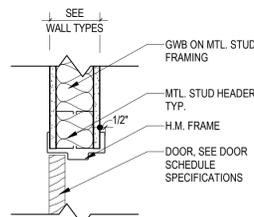
DOOR SCHEDULE															
DOOR #	ROOM #	ROOM NAME	DOUBLE LEAF DOOR	DOOR					HARDWARE	FRAME					COMMENTS
				WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING		SET #	TYPE	MATERIAL	HEAD	JAMB	
	207P	COPY		0"	0"										
206A	206	MEETING ROOM		3'-0"	7'-0"	B	WD	GL-1	2	B	HM	3	2		
212A	212	CITY PLANNER		3'-0"	7'-0"	B	WD	GL-1	1	B	HM	3	2		
212B	212A	ASST. CITY PLANNER		3'-0"	7'-0"	B	WD	GL-1	1	B	HM	3	2		
213A	213	BREAK ROOM		3'-0"	7'-0"	B	WD	GL-1	2	B	HM	3	2		
214A	214	MEETING ROOM		3'-0"	7'-0"	B	WD	GL-1	2	B	HM	3	2		
218A	218	BUILDING DEPT.		3'-0"	7'-0"	B	WD	GL-1	1	B	HM	3	2		
218I	218I	STORAGE		3'-0"	7'-0"	A	WD		3	A	HM	3	2	CLOSER	
220A	220	HUMAN RESOURCES		3'-0"	7'-0"	B	WD	GL-1	1	B	HM	3	2		
221A	221	CODE ENFORCEMENT CHIEF OFFICER RICHARD B.		3'-0"	7'-0"	B	WD	GL-1	1	B	HM	3	2		



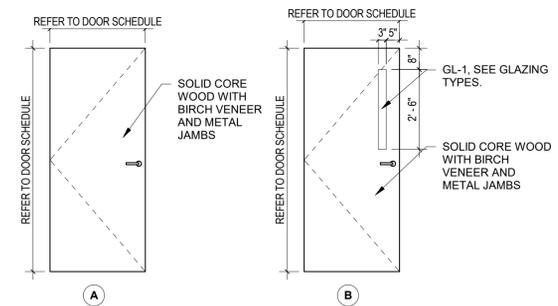
4 METAL TRANSITION - THRESHOLD DETAIL
AT3.0 3" = 1'-0"



2 JAMB DETAIL
AT3.0 1 1/2" = 1'-0"



3 HEAD DETAIL 1
AT3.0 1 1/2" = 1'-0"



1 DOOR TYPES - TEMP
AT3.0 3/8" = 1'-0"

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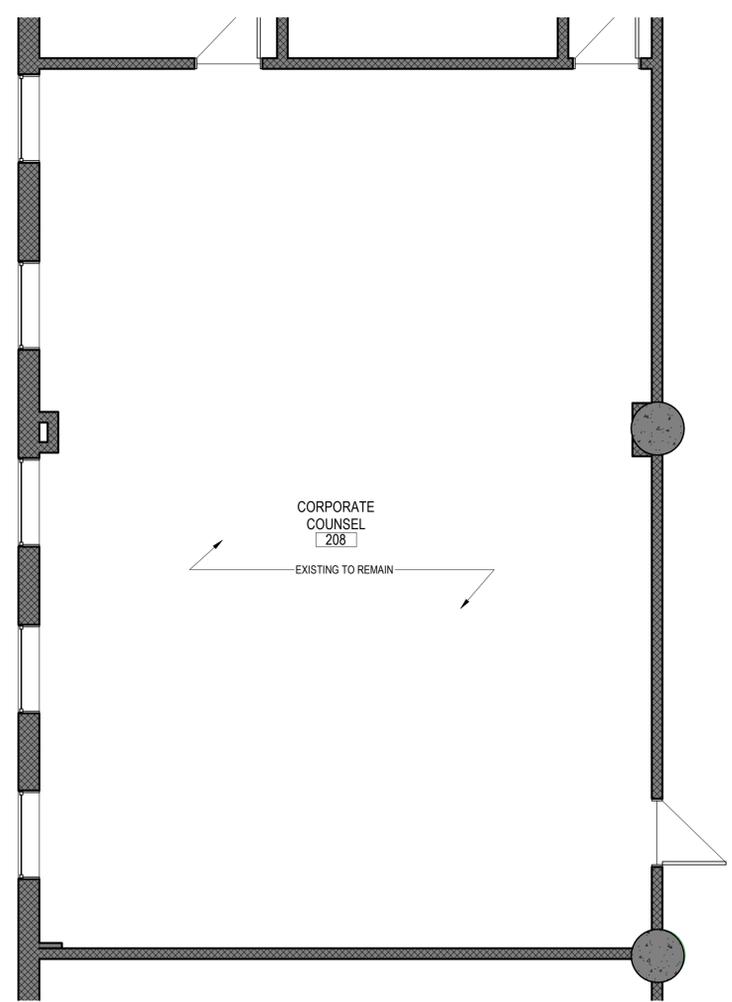
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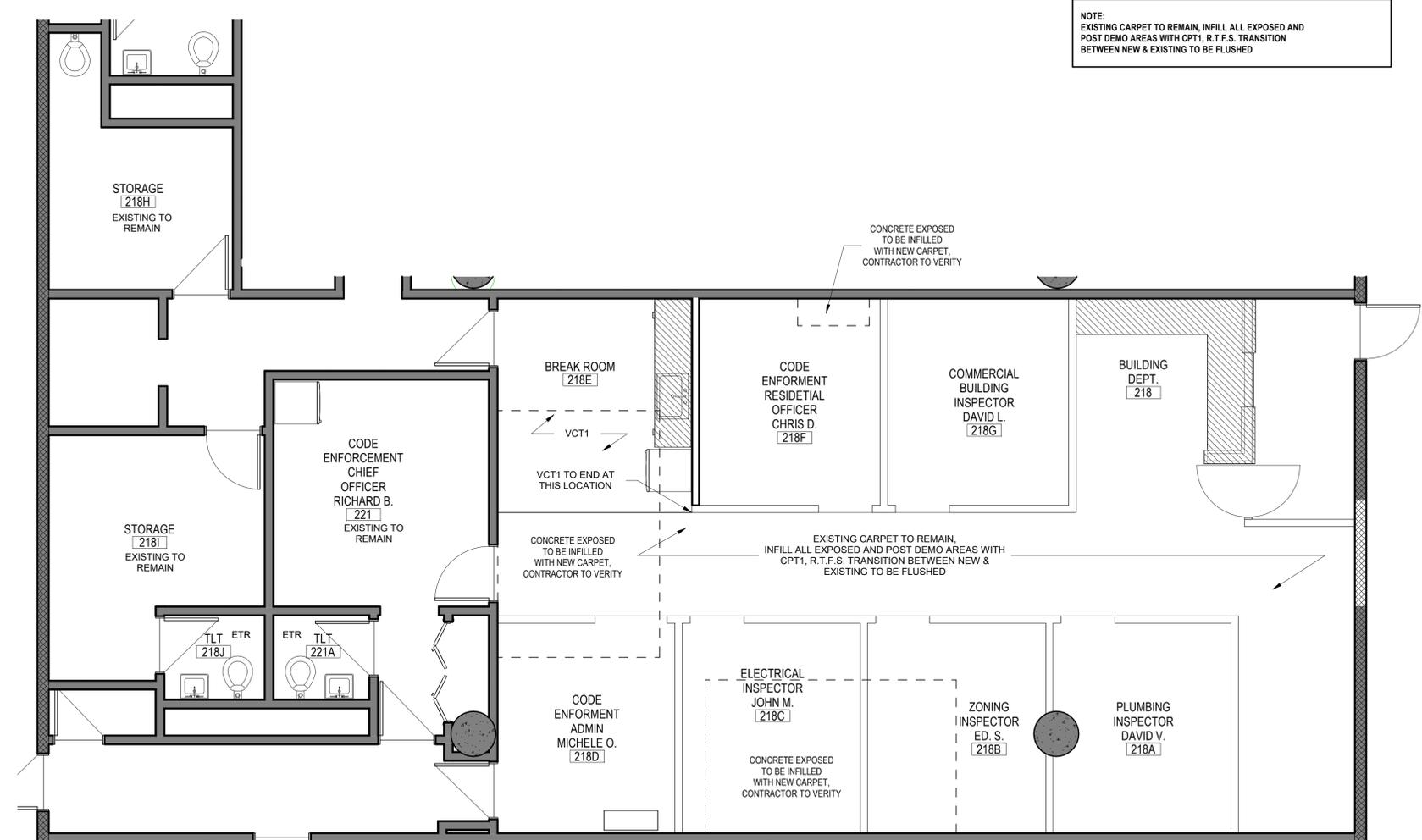
Project No. 2K21.004
Author

AT3.0
DOOR SCHEDULE -
TEMP SPACE

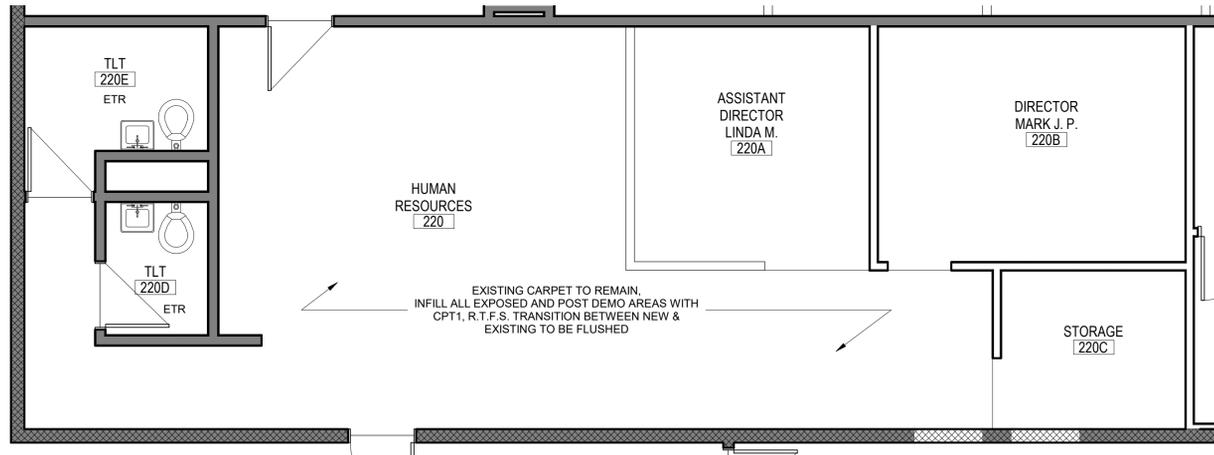
FINISH LEGEND:	
FLOORING:	
CPT1 - CARPET TILE MFG: PATCRAFT STYLE: RATIONAL - SKILL 10461 COLOR: APPTITUDE 00515 SIZE: 24" X 24" LOCATION: GENERAL CONTACT: CHARLES BANK 860.836.6516	VCT1 - VINYL TILE MFG: ARMSTRONG STYLE: EXCELON IMPERIAL TEXTURE COLOR: SHELTER WHITE 51836 SIZE: 12" X 12" LOCATION: BREAK ROOMS
BASE:	
RB1 - RUBBER WALL BASE MFG: ROPPE STYLE: VINYL WALL BASE, TYPE TV, GROUP 2 SIZE: 4" HT COLOR: INSTALLATION: USE WITH MFG'S RECOMMENDED ADHESIVE CONTACT: KYLE GABLE 413.887.8495	
WALL:	
P1 - PAINT MFG: BENJAMIN MOORE STYLE: INTERIOR LATEX COLOR: FINISH: EGGSHELL LOCATION: GENERAL WALLS	
CEILING:	
APC1 - ACOUSTICAL PANEL CEILING MFG: ARMSTRONG STYLE: ULTIMA REGULAR EDGE: BEVELED REGULAR EDGE #1942 SIZE: 24" X 24" X 7/8" PANEL COLOR: WHITE GRID COLOR: WHITE SYSTEM: 9/16" SUPRAFINE SUSPENSION	
MISCELLANEOUS:	
PL1 - PLASTIC LAMINATE MFG: WILSONART STYLE: PHENOLIC BACKED DECORATIVE LAMINATE, 3MM THICK, HORIZONTAL GRADE, 4' X 10' SHEET SIZES COLOR: GREEN SOAPSTONE LOCATION: WORKSURFACE COUNTERTOP, TRANSACTION COUNTERTOP AND MILLWORK COUNTERTOP, SIDESPLASH AND BACKSPLASH	
NOTE: EXISTING CARPET TO REMAIN, INFILL ALL EXPOSED AND POST DEMO AREAS WITH CPT1, R.T.F.S. TRANSITION BETWEEN NEW & EXISTING TO BE FLUSHED	



LEVEL 2 FLOOR PLAN - ENLARGED FINISH PLAN - CORPORATE COUNSEL
 2
 AT10.0 1/4" = 1'-0"

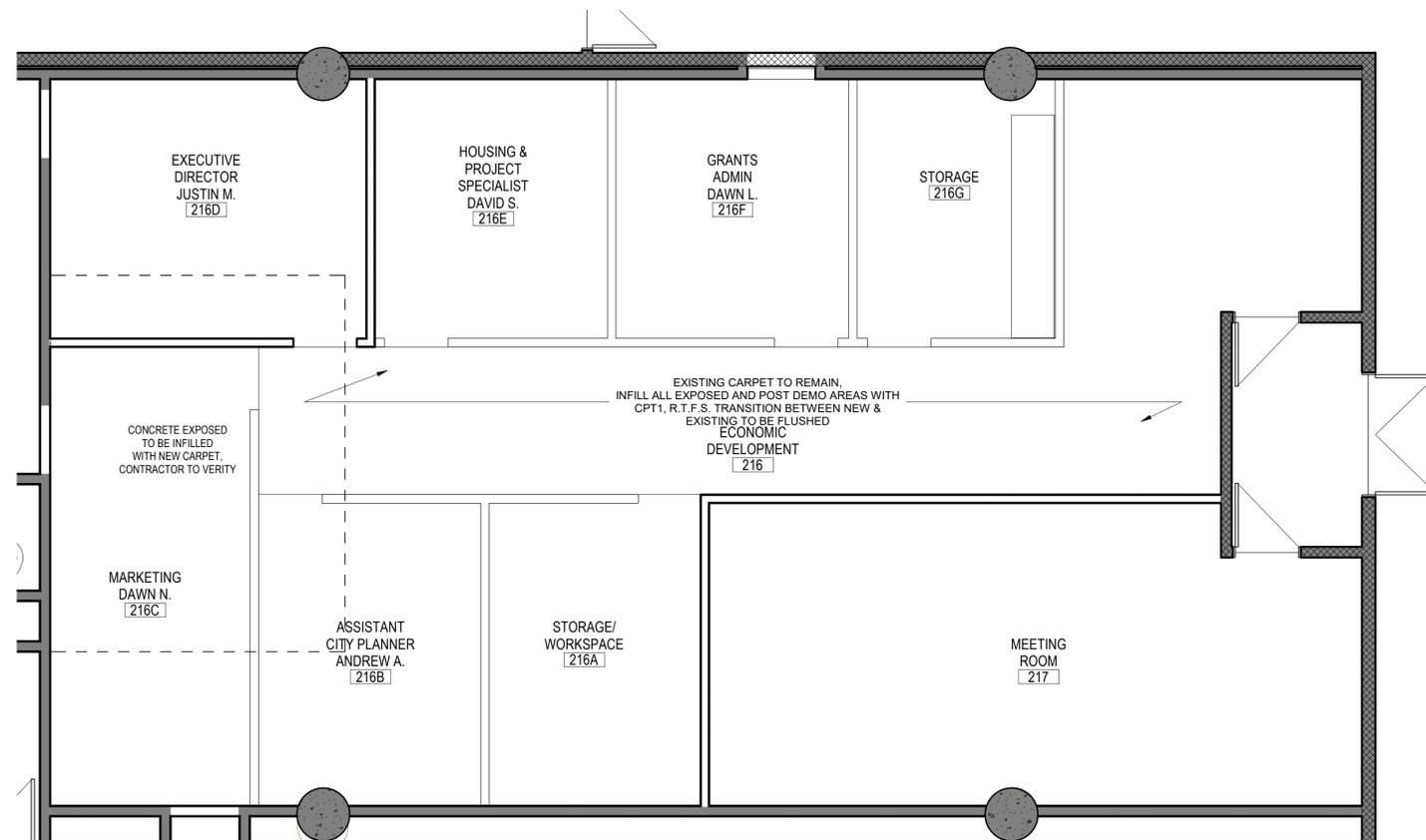


LEVEL 2 FLOOR PLAN - ENLARGED FINISH PLAN - BUILDING DEPT.
 1
 AT10.0 1/4" = 1'-0"



LEVEL 2 FLOOR PLAN - ENLARGED FINISH PLAN - HUMAN RESOURCES & CLAIM

2
AT10.1 1/4" = 1'-0"

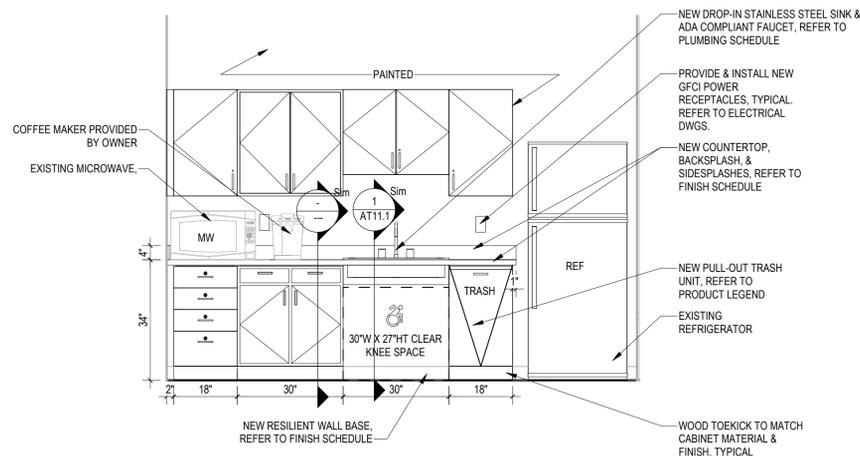


LEVEL 2 FLOOR PLAN - ENLARGED FINISH PLAN - ECONOMIC & COMM. DEVELOPMENT

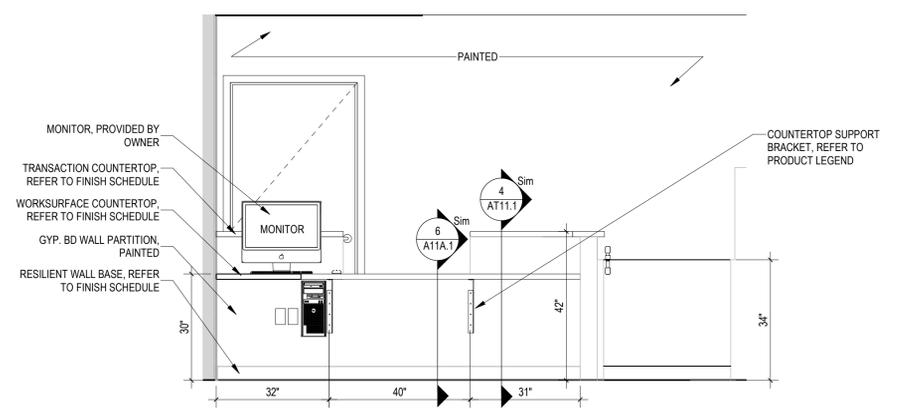
1
AT10.1 1/4" = 1'-0"

FINISH LEGEND:	
FLOORING:	
CPT1 - CARPET TILE MFG: PATCRAFT STYLE: RATIONAL - SKILL 10461 COLOR: APTITUDE 00515 SIZE: 24" X 24" LOCATION: GENERAL CONTACT: CHARLES BANIK 860.836.6516	VCT1 - VINYL TILE MFG: ARMSTRONG STYLE: EXCELON IMPERIAL TEXTURE COLOR: SHELTER WHITE 51836 SIZE: 12" X 12" LOCATION: BREAK ROOMS
BASE:	
RB1 - RUBBER WALL BASE MFG: ROPPE STYLE: VINYL WALL BASE, TYPE TV, GROUP 2 SIZE: 4" HT COLOR: INSTALLATION: USE WITH MFG'S RECOMMENDED ADHESIVE CONTACT: KYLE GABLE 413.887.8495	
WALL:	
P1 - PAINT MFG: BENJAMIN MOORE STYLE: INTERIOR LATEX COLOR: FINISH: EGGSHELL LOCATION: GENERAL WALLS	
CEILING:	
APC1 - ACOUSTICAL PANEL CEILING MFG: ARMSTRONG STYLE: ULTIMA TEGULAR EDGE: BEVELED TEGULAR EDGE #1942 SIZE: 24" X 24" X 7/8" PANEL COLOR: WHITE GRID COLOR: WHITE SYSTEM: 916' SUPRAFINE SUSPENSION	
MISCELLANEOUS:	
PL1 - PLASTIC LAMINATE MFG: WILSONART STYLE: PHENOLIC BACKED DECORATIVE LAMINATE, 9MM THICK, HORIZONTAL GRADE, 4' X 10' SHEET SIZES COLOR: GREEN SOAPSTONE LOCATION: WORKSURFACE COUNTERTOP, TRANSACTION COUNTERTOP AND MILLWORK COUNTERTOP, SIDESPLASH AND BACKSPASH	
NOTE: EXISTING CARPET TO REMAIN, INFILL ALL EXPOSED AND POST DEMO AREAS WITH CPT1, R.T.F.S. TRANSITION BETWEEN NEW & EXISTING TO BE FLUSHED	

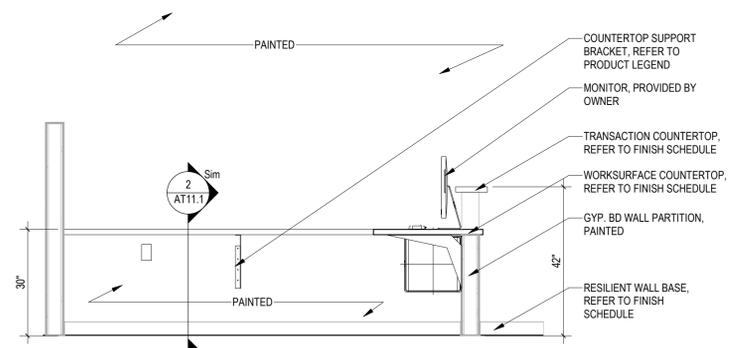
PRODUCT LEGEND:	
1. COUNTERTOP GROMMET. MFG: MCKETT, EDP FLIP-TOP SERIES 2-1/2" HOLE DESK GROMMET, FINISH: BLACK	
2. COUNTERTOP BRACKET. MFG: RAKKS, EH SURFACE MOUNT COUNTERT SUPPORT BRACKET #EH-1824, FINISH: PRIMED FOR PAINTING, PAINT TO MATCH WALL COLOR	
3. PULL OUT TRASH UNIT. MFG: OUTWATER, REV-A-SHELF PULL-OUT WASTE CONTAINER WITH REV-A-MOTION, #5149-18DM-217, DOUBLE 35 QT. PROVIDE WASTE BINS.	
4. WIRE MANAGEMENT. MFG: MCKETT, LAWRENCE CABLE CLIP WIRE MANAGER, #WM28/2IN-90, FINISH: BLACK	



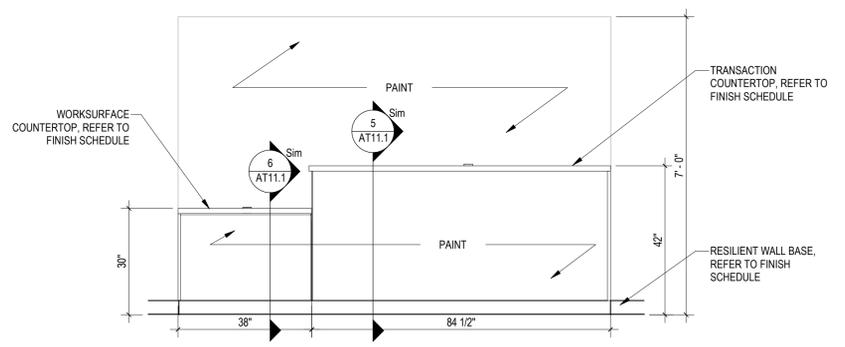
6 BREAK ROOM TYPICAL MILLWORK ELEVATION
 AT11.0 1/2" = 1'-0"



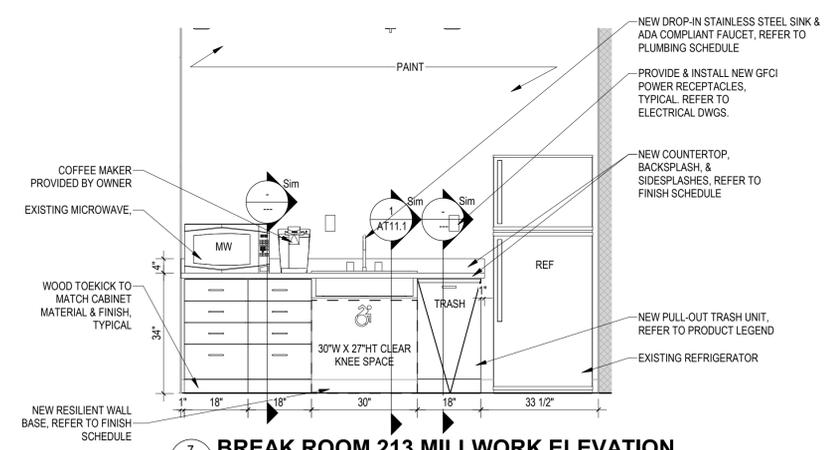
3 BUILDING DEPT RECEPTION MILLWORK ELEVATION WEST
 AT11.0 1/2" = 1'-0"



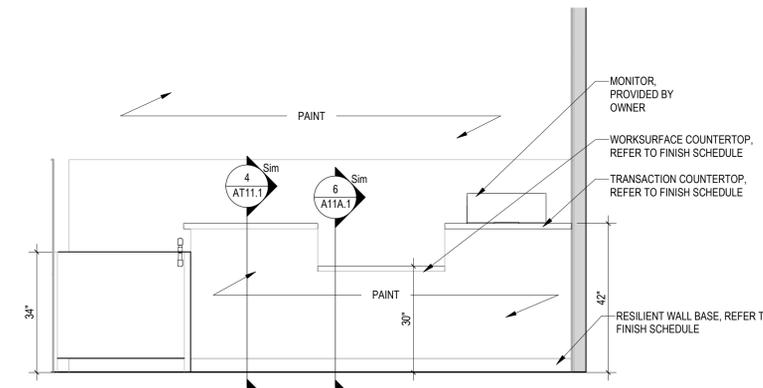
5 BUILDING DEPT. RECEPTION MILLWORK ELEVATION NORTH
 AT11.0 1/2" = 1'-0"



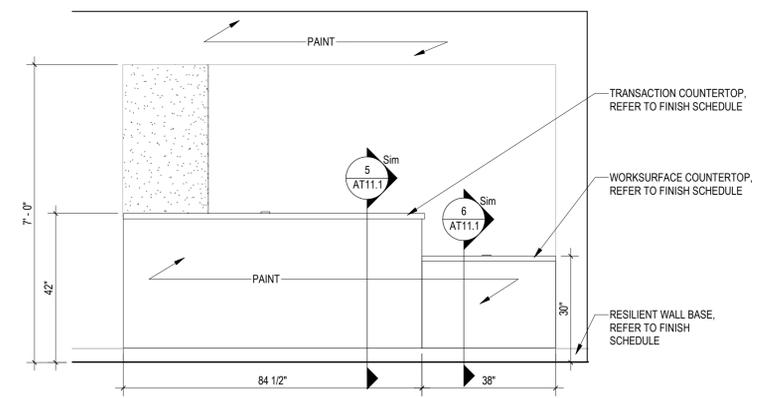
2 ADMIN 210 MILLWORK ELEVATION
 AT11.0 1/2" = 1'-0"



7 BREAK ROOM 213 MILLWORK ELEVATION
 AT11.0 1/2" = 1'-0"



4 BUILDING DEPT. RECEPTION MILLWORK ELEVATION EAST
 AT11.0 1/2" = 1'-0"



1 MAIN CORRIDOR MILLWORK ELEVATION WEST
 AT11.0 1/2" = 1'-0"

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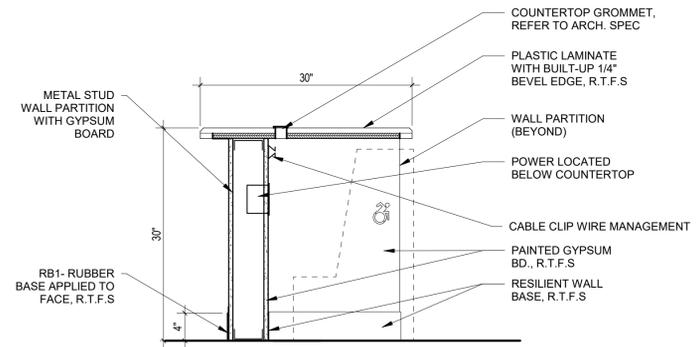
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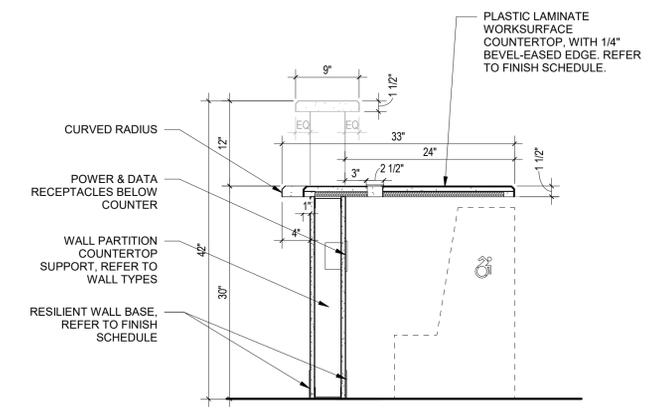
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AT11.0
 LEVEL 2 MILLWORK ELEVATIONS - TEMP SPACE

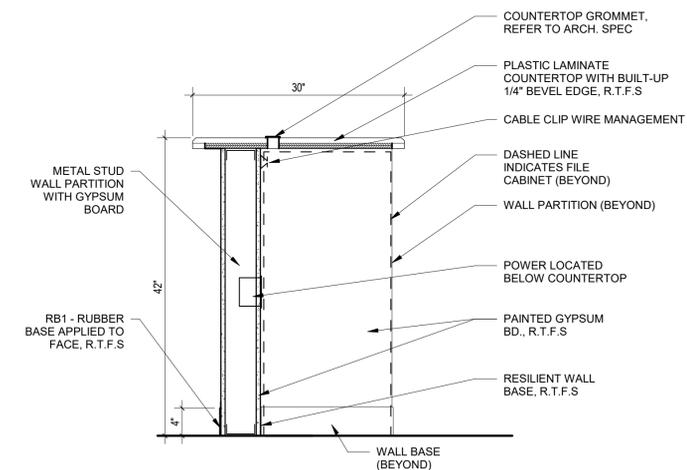
PRODUCT LEGEND:	
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2.	COUNTERTOP BRACKET, MFG: RAKKS, EH SURFACE MOUNT COUNTERTOP SUPPORT BRACKET #EH-1824, FINISH: PRIMED FOR PAINTING, PAINT TO MATCH WALL COLOR
3.	PULL OUT TRASH UNIT, MFG: OUTWATER, REV-A-SHELF PULL-OUT WASTE CONTAINER WITH REV-A-MOTION, #5149-18DM-217, DOUBLE 35 QT. PROVIDE WASTE BINS.
4.	WIRE MANAGEMENT, MFG: MOCKETT, LAWRENCE CABLE CLIP WIRE MANAGER, #WM282IN-90, FINISH: BLACK



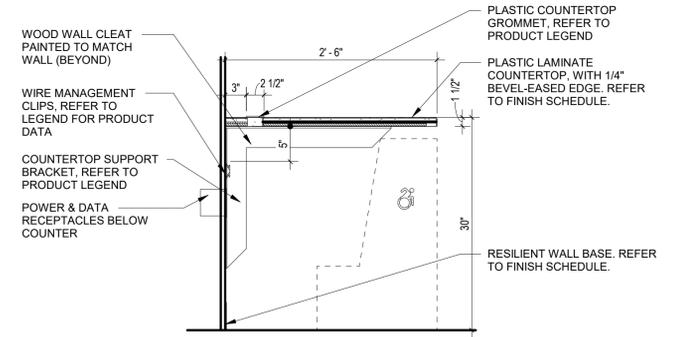
6 TYPICAL MILLWORK DETAIL
AT11.1 1" = 1'-0"



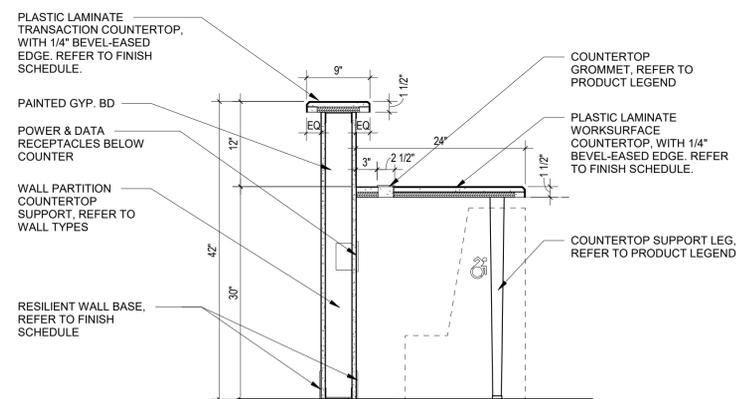
3 MILLWORK DETAIL - RECEPTION COUNTER
AT11.1 1" = 1'-0"



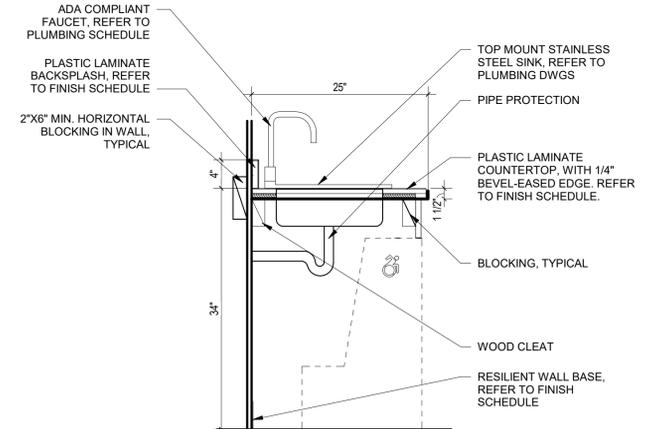
5 TYPICAL MILLWORK DETAIL
AT11.1 1" = 1'-0"



2 MILLWORK DETAIL - ACCESSIBLE WORK SPACE 2
AT11.1 1" = 1'-0"



4 MILLWORK DETAIL - PARTITION COUNTER
AT11.1 1" = 1'-0"



1 MILLWORK DETAIL - BASE CABINET
AT11.1 1" = 1'-0"

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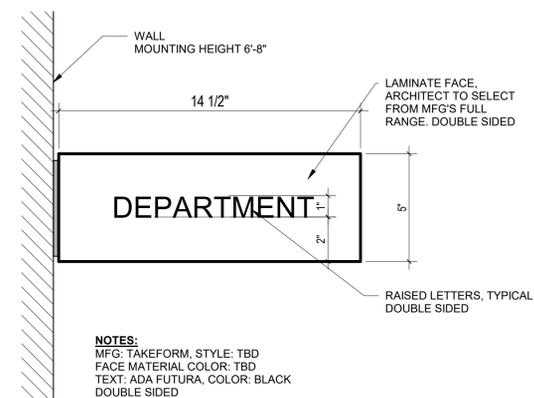
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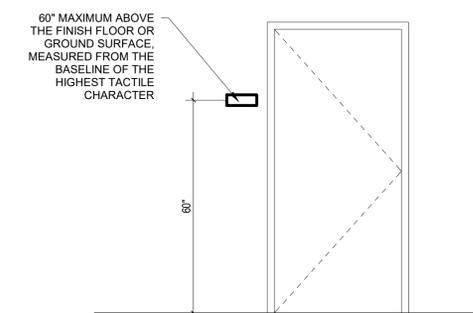
Scale: As indicated

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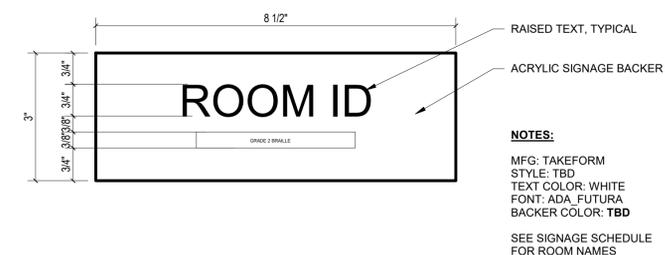
AT11.1
LEVEL 2 MILLWORK
DETAILS - TEMP SPACE



3 SIGN- FLAG MOUNT ACCESSIBLE
 AT12.0 3" = 1'-0"



2 TYPICAL MOUNTING HEIGHT - TEMP
 AT12.0 1/2" = 1'-0"



1 SIGN 1- ROOM ID - TEMP
 AT12.0 6" = 1'-0"

Issuances:

Date: ISSUED FOR BID:
 OCTOBER 25, 2021

Scale: As indicated

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